



# AGENDA

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## HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

**TUESDAY, MAY 22, 2012 – 9 A.M.**

**COUNCIL CHAMBER**

**SECOND FLOOR, CIVIC CENTRE**

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

[www.mississauga.ca](http://www.mississauga.ca)

### Members

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

Robert Cutmore, Citizen Member

David Dodaro, Citizen Member

Mohammad N. Haque, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuaig, Citizen Member

Deanna Natalizio, Citizen Member

Michael Spaziani, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

[Julie.Lavertu@mississauga.ca](mailto:Julie.Lavertu@mississauga.ca)

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CALL TO ORDER

DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

PRESENTATIONS/DEPUTATIONS

- A. Sarah Merriam, Environmental Planner, Ministry of Transportation, Leslie Currie, Regional Archaeologist, Ministry of Transportation, and Heather Templeton, Consultant Assistant Project Manager and Project Engineer, McCormick Rankin, with respect to the QEW Credit River Bridge Class Environmental Assessment Study.
  
- B. Item 6 Karl Krasznai, property owner and Ward 2 resident, with respect to a request to remove a heritage listed property from the Heritage Register located at 1276 Clarkson Road North in Ward 2.

MATTERS TO BE CONSIDERED

- 1. Approval of Minutes of Previous Meeting

Minutes of the meeting held April 24, 2012.

RECOMMEND APPROVAL

- 2. Request to Alter a Heritage Designated Property, The Anchorage, 1620 Orr Road, Ward 2

Corporate Report dated May 1, 2012 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, The Anchorage, located at 1620 Orr Road.

*\* Appendices 1 and 2 have been distributed to Members of Council and Committee members. To obtain these Appendices, please contact the Office of the City Clerk.*

RECOMMENDATION

That the request to alter the Anchorage, 1620 Orr Road, as described in the report from the Commissioner of Community Services, dated May 1, 2012, be approved.

RECOMMEND APPROVAL

- 3. Designated Heritage Property Grants 2012

Corporate Report dated May 2, 2012 from the Commissioner of Community Services with respect to the Designated Heritage Property Grants 2012.

(3.) RECOMMENDATION

That the Heritage Advisory Committee recommend to the Director of Culture to approve the 2012 Designated Heritage Property Grant applications as outlined in the report from the Commissioner of Community Services, dated May 2, 2012.

RECOMMEND APPROVAL

4. Request to Demolish a Heritage Listed Property, 47 Oriole Avenue, Ward 1

Corporate Report dated May 1, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 47 Oriole Avenue.

*\* Appendix 1 has been distributed to Members of Council and Committee members. To obtain this Appendix, please contact the Office of the City Clerk.*

RECOMMENDATION

That the property at 47 Oriole Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

RECOMMEND APPROVAL

5. Request to Demolish a Heritage Listed Property, 2494 Mississauga Road, Ward 8

Corporate Report dated May 1, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 2494 Mississauga Road.

*\* Appendix 1 has been distributed to Members of Council and Committee members. To obtain this Appendix, please contact the Office of the City Clerk.*

RECOMMENDATION

That the property at 2494 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

RECOMMEND APPROVAL

6. Request to Remove a Heritage Listed Property from the Heritage Register, 1276 Clarkson Road North, Ward 2

Correspondence dated April 19, 2012 from Karl Krasznai, property owner and Ward 2 resident, with respect to a request to remove a heritage listed property from the Heritage Register located at 1276 Clarkson Road North.

DIRECTION REQUIRED

7. Proposed Chain Link Fence, 1789 Poets Walk, Ward 6

Memorandum dated May 1, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to a proposed chain link fence for 1789 Poets Walk.

RECOMMEND RECEIPT8. Proposed Wood Window Restoration Workshop – September 2012

Memorandum dated May 10, 2012 from Elaine Eigl, Heritage Coordinator, with respect to a proposed wood window restoration workshop in September 2012.

DIRECTION REQUIRED9. Willowbank Symposium Entitled “Honouring the Past, Embracing the Future”

Correspondence with respect to the Willowbank Symposium entitled “Honouring the Past, Embracing the Future” on May 26, 2012 in Queenston, Ontario.

DIRECTION REQUIRED10. Heritage Mississauga Lunch with John Tory Entitled “Heritage, Lessons Learned”

Correspondence with respect to the Heritage Mississauga lunch with John Tory entitled “Heritage, Lessons Learned” on June 26, 2012 in Mississauga, Ontario.

DIRECTION REQUIRED11. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated May 22, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

RECOMMEND RECEIPTSUBCOMMITTEE UPDATES FROM CHAIRS12. Designated Heritage Property Grant Subcommittee13. Heritage Designation Subcommittee14. Heritage Tree Subcommittee

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15. Meadowvale Village Heritage Conservation District Review Committee

- 15.1 Letter dated May 7, 2012 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to the Dave Moir residence located at 7015 Pond Street in Ward 11.

RECOMMEND RECEIPT

16. Public Awareness Subcommittee

INFORMATION ITEMS

17. Notice of Study Commencement: Queen Elizabeth Way Class Environmental Assessment Study from Evans Avenue to Cawthra Road

Correspondence with respect to the Notice of Study Commencement: Queen Elizabeth Way Class Environmental Assessment Study from Evans Avenue to Cawthra Road.

RECOMMEND RECEIPT

18. Ontario Medal for Good Citizenship

Correspondence dated May 2012 from Charles Sousa, Minister of Citizenship and Immigration, with respect to the Ontario Medal for Good Citizenship.

RECOMMEND RECEIPT

DATE OF NEXT MEETING – Tuesday, June 19, 2012 at 9 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT

**IT IS RECOMMENDED THAT HERITAGE ADVISORY COMMITTEE MEMBERS VISIT THE PROPERTIES LISTED ON THE AGENDA PRIOR TO THE MEETING.**



# MINUTES

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## HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, APRIL 24, 2012 – 9 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

[www.mississauga.ca](http://www.mississauga.ca)

**MEMBERS PRESENT:** Councillor George Carlson, Ward 11 (CHAIR)  
 Councillor Jim Tovey, Ward 1 (VICE-CHAIR)  
 David Dodaro, Citizen Member  
 Mohammad N. Haque, Citizen Member (departure at 10:36 a.m.)  
 James Holmes, Citizen Member  
 Rick Mateljan, Citizen Member (arrival at 9:14 a.m.)  
 Cameron McCuaig, Citizen Member  
 Michael Spaziani, Citizen Member (arrival at 9:08 a.m.)  
 Michelle Walmsley, Citizen Member  
 Matthew N. Wilkinson, Citizen Member

**MEMBERS ABSENT:** Deanna Natalizio, Citizen Member

**STAFF PRESENT:** Margaret Beck, Legal Counsel  
 Susan Burt, Director, Culture Division  
 Elaine Eigl, Heritage Coordinator  
 Laura Waldie, Heritage Coordinator  
 Paula Wubbenhorst, Acting Senior Heritage Coordinator

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

[Julie.Lavertu@mississauga.ca](mailto:Julie.Lavertu@mississauga.ca)

CALL TO ORDER – 9:03 a.m.DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

Later in the meeting, prior to consideration of Item 5, Mr. Mateljan declared a conflict and subsequently left the Council Chamber during discussion of this item.

The Vice-Chair requested to discuss delisting the Metro (formerly Steinberg) grocery store in the Applewood Plaza at 1077 North Service Road in Other Business.

PRESENTATIONS/DEPUTATIONS – NilMATTERS CONSIDERED1. Approval of Minutes of Previous Meeting

Minutes of the meeting held March 20, 2012.

Approved (J. Tovey)

2. Proposed Heritage Designation, Harold Shipp House, 500 Comanche Road, Ward 2

Corporate Report dated April 11, 2012 from the Commissioner of Community Services with respect to the proposed heritage designation, Harold Shipp House, located at 500 Comanche Road.

Ms. Wubbenhorst discussed the Corporate Report and its recommendation and the property's historical/associative, physical/design, and contextual values.

Mr. Spaziani arrived at 9:08 a.m.

Committee members discussed the Corporate Report and its recommendation, hostile heritage designations in Ontario on living historic figures, Mr. Shipp's importance, contributions, legacy, and cultural significance to the City, prominent City residents and their properties, the property's heritage value, the heritage value of other properties in the Credit River Corridor Cultural Landscape, the best ways to recognize Mr. Shipp and his accomplishments, the possibility of encouraging future property owners to incorporate the existing property in the new property, whether the reasons for designating the property would be upheld by the Conservation Review Board (CRB), the Committee's role vis-à-vis heritage designations, and the property's Heritage Impact Statement (HIS).

Harold G. Shipp, for and on behalf of the Trustees of the June C. Shipp Estate, discussed the Corporate Report and its recommendation, his objections to designating the property, the City's process for listing properties, and the current status of the property. He said that

he lived in the house from 1967-2010, but never owned or had title to the property. Mr. Shipp said that many potential buyers are more interested in the property's lot than in the existing property, but that he hoped that a buyer would respect and renovate the existing property. He said that his status as a good corporate citizen should not affect the property.

Mr. Mateljan arrived at 9:14 a.m.

In response to a question from the Vice-Chair, Ms. Wubbenhorst said that she was not aware of other hostile heritage designations in Ontario on living historic figures. She added that the property is within the Credit River Corridor Cultural Landscape and, if it was delisted by the Committee, the entire Cultural Landscape would need to be delisted.

The Chair discussed the Corporate Report and its recommendation and noted that most property owners do not want their properties to be designated. He discussed the reasons for designating properties and Mr. Shipp's objections to the heritage designation.

In response to a question from Mr. Holmes, Ms. Wubbenhorst said that, in her opinion, the reasons for designating the property would likely be upheld by the CRB, but that definitive outcomes at the CRB are difficult to predict.

Recommendation

HAC-0030-2012

That the Harold Shipp House, 500 Comanche Road, be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

Approved (D. Dodaro)

3. Request to Demolish a Heritage Listed Property, 216 Donnelly Drive, Ward 1

Corporate Report dated March 27, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 216 Donnelly Drive.

Recommendation

HAC-0031-2012

That the property at 216 Donnelly Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

Approved (J. Tovey)

4. Request to Demolish a Heritage Listed Property, 92 Pinetree Way, Ward 1

Corporate Report dated April 3, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 92 Pinetree



Way.

Recommendation

HAC-0032-2012

That the property at 92 Pinetree Way, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

Approved (J. Holmes)

5. Request to Demolish a Heritage Listed Property, 1527 Douglas Drive, Ward 1

Corporate Report dated March 27, 2012 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1527 Douglas Drive.

At this point, Mr. Mateljan declared a conflict regarding Item 5 and subsequently left the Council Chamber during discussion of this item.

Committee members discussed the Mineola West Cultural Landscape and its advantages and disadvantages, the arborists reports, the properties worthy of heritage designation in the Cultural Landscape, the possibility of Heritage staff and Committee members working with property owners to retain certain properties and to encourage the use of architectural elements/designs, the challenges of pursuing individual designations, the possibility of organizing a public meeting for property owners in the Cultural Landscape, the possibility of organizing a meeting with Heritage staff and Committee members to discuss the current processes for the Cultural Landscape, the advantages and disadvantages of the current processes for properties in the Cultural Landscape, and the possibility of the Heritage Designation Subcommittee working on the Cultural Landscape's various issues.

The Chair discussed the Mineola West Cultural Landscape, its impact on the workload of Heritage staff, and options for this area. He said that most properties are not worthy of heritage designation and suggested that the processes for properties in this Cultural Landscape be streamlined to focus on the new design of properties and plans for trees.

Ms. Eigl discussed the possibility of organizing a public meeting for property owners in the Mineola West Cultural Landscape to hear from the community. The Chair stated that he could attend this meeting and discuss the experiences of Meadowvale Village. The Vice-Chair discussed the Mineola West Cultural Landscape and its design guidelines.

Ms. Wubbenhorst discussed the history of the Mineola West Cultural Landscape and said that at least one public meeting on the Cultural Landscape Inventory was held. She noted that Heritage staff could review the current processes for Cultural Landscapes and supply options regarding these areas to the Committee in the near future. Ms. Wubbenhorst said that the processes for these areas are time-consuming for Heritage staff and emphasized that Heritage staff can only comment on whether or not properties should be designated.

Ms. Burt stated that any process changes for the Mineola West Cultural Landscape should be consistent for the City's other Cultural Landscapes. She acknowledged that Heritage staff is spending a lot of time on this area and suggested that the Committee establish a Subcommittee and meet with Heritage staff to examine the current processes.

The Chair requested that an educational session be scheduled for Committee members and Heritage staff to discuss options and processes for properties in Cultural Landscapes.

Recommendations

HAC-0033-2012

That the property at 1527 Douglas Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

Approved (J. Tovey)

HAC-0034-2012

That the Legislative Coordinator schedule a meeting in the near future for the Heritage Advisory Committee and Heritage staff to discuss the Committee's options for streamlining the current process for properties on the Heritage Register that are located in Cultural Landscapes.

Direction (J. Tovey)

6. Heritage Impact Statement, 162 Indian Valley Trail, Ward 1

Memorandum dated March 27, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to the Heritage Impact Statement for 162 Indian Valley Trail.

Recommendation

HAC-0035-2012

That the Memorandum dated March 27, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to the Heritage Impact Statement for 162 Indian Valley Trail be received.

Received (M. Spaziani)

7. Heritage Impact Statement, 1538 Douglas Drive, Ward 1

Memorandum dated April 3, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to the Heritage Impact Statement for 1538 Douglas Drive.

Recommendation

HAC-0036-2012

That the Memorandum dated April 3, 2012 from Paula Wubbenhorst, Acting Senior Heritage Coordinator, with respect to the Heritage Impact Statement for 1538 Douglas Drive be received.

Received (D. Dodaro)

8. Ontario Heritage Conference 2012

Correspondence with respect to the Ontario Heritage Conference 2012 on May 31-June 3, 2012 in Kingston, Ontario.

Ms. Lavertu discussed the Ontario Heritage Conference, suggested that the Committee pass a recommendation authorizing up to two Committee members to attend, and asked Committee members to contact her if they wanted to attend.

Recommendation

HAC-0037-2012

That up to two Heritage Advisory Committee Citizen Members be authorized to attend the Ontario Heritage Conference 2012 on May 31-June 3, 2012 in Kingston, Ontario and that funds be allocated in the Heritage Advisory Committee's 2012 budget (Account #28609) to cover approximately \$650 for registration fees, approximately \$600 for mileage, approximately \$800 for accommodations, and approximately \$240 for per diem allowances.

Direction (C. McCuaig)

9. Status of Outstanding Issues from the Heritage Advisory Committee

Chart dated April 24, 2012 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

Ms. Wubbenhorst discussed the Dowling House and said that Heritage staff contacted the property owner for an update and that a moving plan was recently submitted which Heritage staff will review along with working on a Letter of Credit.

Ms. Wubbenhorst said that Heritage staff asked for a HIS and archaeological assessment in March 2010 from the QEW Credit River Bridge project team. She said that the project team advised her that these two documents would be included in their Transportation Environmental Study Report which will be issued in the fall of 2012. She added that the project team would be making a deputation to the Committee at their May 2012 meeting.

The Chair gave an update on the Bell Tower and briefly discussed a recent meeting regarding this project and upcoming work on the project's structural feasibility.

Mr. Wilkinson discussed the Dowling House and construction activities on the property, including a new foundation. Ms. Wubbenhorst said that she would look into this matter.

Recommendation

HAC-0038-2012

That the chart dated April 24, 2012 from Julie Lavertu, Legislative Coordinator, Heritage

Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee be received.

Received (J. Holmes)

#### SUBCOMMITTEE UPDATES FROM CHAIRS

10. Designated Heritage Property Grant Subcommittee – No update
11. Heritage Designation Subcommittee – No update
12. Heritage Tree Subcommittee – No update
13. Meadowvale Village Heritage Conservation District Review Committee
  - 13.1 Letter dated April 12, 2012 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to Meadowvale Village Heritage Conservation District Review Committee membership.

#### Recommendation

HAC-0039-2012

1. That the letter dated April 12, 2012 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to Meadowvale Village Heritage Conservation District Review Committee membership be received; and
2. That, further to the letter dated April 12, 2012 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, the Heritage Advisory Committee supports the Meadowvale Village Community Association's appointment of Jim Holmes, Dave Moir, Colleen Newmarch, and Terry Wilson to the Meadowvale Village Heritage Conservation District Review Committee for the 2010-2014 term of office or until successors are appointed.

Received/Support (D. Dodaro)

14. Public Awareness Subcommittee – No update

#### INFORMATION ITEMS

15. Submission to Dufferin-Peel Catholic District School Board – St. Mary's (Old) Cemetery, 44 Port Street West, Ward 1

Email message dated March 16, 2012 from Michael Harrison, Toronto resident, with respect to a submission to the Dufferin-Peel Catholic District School Board – St. Mary's (Old) Cemetery located at 44 Port Street West.

Committee members discussed Mr. Harrison's email message, St. Mary's (old) cemetery and its history, tombstone/grave relocations, current status, location, and legal boundaries, cemeteries in Ontario, the role of churches with cemeteries, the architecture of St. Mary's Star of the Sea Roman Catholic Church, and the status of Mr. Harrison's concerns.

Ms. Eigl displayed photographs of St. Mary's Church and its cemetery. In response to a question from the Vice-Chair, Ms. Wubbenhorst said that Heritage staff did not know if the Dufferin-Peel Catholic District School Board responded to Mr. Harrison's concerns.

Recommendation

HAC-0040-2012

That the email message dated March 16, 2012 from Michael Harrison, Toronto resident, with respect to a submission to the Dufferin-Peel Catholic District School Board – St. Mary's (Old) Cemetery located at 44 Port Street West be received.

Received (M. Wilkinson)

DATE OF NEXT MEETING -- Tuesday, May 22, 2012 at 9 a.m., Council Chamber

OTHER BUSINESS

Request to Remove a Heritage Listed Property from the Heritage Register, Metro (Formerly Steinberg) Grocery Store, 1077 North Service Road, Ward 1

The Vice-Chair discussed the Metro grocery store in the Applewood Plaza. He asked that the property be delisted and spoke about proposed plans for the property which include demolishing and rebuilding the grocery store just east of its current location. The Vice-Chair stated that preserving any part of the current property for heritage purposes and/or other conditions would jeopardize the proposed redevelopment and emphasized the importance of having a vibrant grocery store and shopping centre for area residents.

Ms. Eigl distributed a photo of the property to Committee members. The Chair discussed the Vice-Chair's request and asked Heritage staff for clarification about the process for removing heritage listed properties from the Heritage Register.

Ms. Wubbenhorst suggested that this matter be referred to Heritage staff for a Corporate Report for consideration at a future Committee meeting. She added that she was not aware of other properties that had been delisted verbally during past Committee meetings.

Ms. Burt said that, in consultation with Ms. Beck, she has determined that the Committee can make a recommendation regarding this property without a Corporate Report. She noted that Heritage staff has been working with the property owner to find a compromise to preserve and relocate the property's façade, but they were not aware until recently that the tenant was not interested in compromising. In response to a question from the Chair, Ms. Beck discussed the Committee's role and authority as per the *Ontario Heritage Act*.

Committee members discussed the process for removing heritage listed properties from the Heritage Register, the property's architectural merits, the possibility of attaching conditions in the recommendation regarding the façade and retention of the grocery store, the length of time that this application has been considered by City staff, the property's property owner, proponents, and tenants, and the criteria used to assess HIS documents.

In response to a question from Mr. Wilkinson, Ms. Wubbenhorst discussed the property's heritage significance, said that the property was listed in 2003 for its contempo architecture style, and discussed her interactions with the proponent's representatives.

Mr. Haque departed at 10:36 a.m.

The Chair said that this is an emergency situation, as there is a need to retain a grocery store in the area, and that delisting properties verbally should not become the new norm. He added that the Committee could discuss the criteria used to assess HIS documents and the length of time for Heritage staff to decide on matters during the Committee's future educational session regarding Cultural Landscapes (see HAC-0034-2012 on page 4).

In response to a question from the Vice-Chair regarding the length of time that this application has been considered by City staff, Ms. Wubbenhorst said that the Planner for this application would be best suited to elaborate on this matter. She briefly discussed the issues identified by Planning and Building staff and stated that the HIS for the property was submitted in April 2010, deemed incomplete, and resubmitted in January 2012. Ms. Eigl added that she met with the proponent and discussed the incomplete HIS in 2011.

Ms. Burt said that the Committee must make a recommendation to Council on this matter as per the *Ontario Heritage Act* and discussed the timelines in this legislation. She also suggested that the recommendation be tied to the specific development application. Ms. Beck stated that she would review the development application after the meeting to ensure that the Committee's recommendation on this matter is appropriate.

#### Recommendation

HAC-0041-2012

That the property at 1077 North Service Road, which is listed on the City's Heritage Register, be removed from the Heritage Register, subject to the approval of application OZ 10/03 (the retention of a grocery store) by Planning and Building staff and that, through the Site Plan process, the applicant be encouraged to incorporate the existing façade into the new development.

Direction (J. Tovey)

#### Old Port Credit Village Heritage Conservation District Committee

The Vice-Chair said that residents have formed a Committee to strengthen the Old Port Credit Village Heritage Conservation District guidelines. He thanked the Chair and Mr. Holmes for attending a recent community meeting regarding this matter and explaining the benefits and importance of guidelines as per their experiences in Meadowvale Village.

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Heritage Speakers Series 2012 and Heritage Mississauga's Heritage News Newsletter

Mr. Wilkinson distributed documents regarding the Heritage Speakers Series 2012 and Heritage Mississauga's winter 2012 Heritage News newsletter and discussed these items.

Heritage Resources Centre's "Architectural Styles" Workshop in St. Mary's, Ontario

Mr. Wilkinson discussed the Heritage Resources Centre's above-mentioned workshop, encouraged Committee members to attend the Centre's future workshops, and said that he would share the workshop's materials with Committee members for their information.

ADJOURNMENT – 11:09 a.m. (J. Tovey)

DRAFT



# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

MAY 22 2012

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**DATE:** May 1, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: May 22, 2012

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Request to Alter a Heritage Designated Property**  
**The Anchorage**  
**1620 Orr Road**  
**(Ward 2)**

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**RECOMMENDATION:** That the request to alter the Anchorage, 1620 Orr Road, as described in the report from the Commissioner of Community Services, dated May 1, 2012, be approved.

**BACKGROUND:** James W. Taylor built the subject dwelling in the 1830s. John Skynner, the subsequent owner, a retired Royal Navy Commander, dubbed it "The Anchorage." The City moved it from its original site, on the shores of Lake Ontario, in the mid 1970s. The building now forms part of the Museums of Mississauga.

**COMMENTS:** The Ventin Group Ltd. has submitted a heritage permit application, on behalf of the City's Facilities and Property Management Division, to upgrade the HVAC system and repair the roof. (The design report and drawings are attached as appendices 1 and 2 respectively.)

The roof repairs include the re-sheathing of the dormers and the introduction of two new roof vents. Since the siding and shingles will



be replaced with wood and cedar respectively, as per the existing materials, and the vents are minor, staff have no concerns with this repair.

The new HVAC system requires a 10 x 24 inch wide aluminium fresh air louvre on the east elevation. Because this is a minimal intervention, staff recommend that it be approved.

**FINANCIAL IMPACT:** There is no financial impact

**CONCLUSION:** The City's Facilities and Property Management Division proposes some minor changes to the Anchorage building at the Bradley Museum site. Because the proposed interventions are minimal, the heritage permit should be approved.

**ATTACHMENTS:** Appendix 1: Design Report  
Appendix 2: Drawings



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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator*



# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

MAY 22 2012

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**DATE:** May 2, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: May 22, 2012

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Designated Heritage Property Grants 2012**

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**RECOMMENDATION:** That the Heritage Advisory Committee recommend to the Director of Culture to approve the 2012 Designated Heritage Property Grant applications as outlined in the report from the Commissioner of Community Services, dated May 2, 2012.

**BACKGROUND:** In May 2007 Council adopted By-law 0184-2007, as amended February 25, 2009, to provide grants to owners of heritage designated properties. The program assists heritage designated property owners with financial assistance from a minimum of \$500 to a maximum of \$5,000 in matching funds, and up to \$10,000 for structural projects. Properties must be designated under the *Ontario Heritage Act*, and the work proposed must be a restoration or reconstruction of original architectural elements. Applications must include two quotes.

The applications are reviewed to ensure they are complete and meet all criteria. Eligible projects include:

- Conservation of existing architectural elements;
- Reconstruction of existing architectural elements that need repair;
- Restoration of architectural elements which have been lost but can be replicated based on documentary evidence; and
- Repair and restoration of building elements required for structural soundness.

**COMMENTS:** Seventeen applications were submitted by the advertised deadline of April 20, 2012. One of these was deemed ineligible. Of the successful applicants, four grants will be conditional upon further investigation to determine if, in the case of the window replication projects, restoration is an option. For the roofing project, an additional quote will be required as there are concerns surrounding the scope outlined in one of the submitted estimates.

A summary of the grant awards is attached as Appendix 1. The grant budget available to fund these request is \$75,000. As the total 2012 requests are approximately \$70,000, all eligible projects are allotted the requested or maximum grant total.

Grant applicants will be notified of these results with any conditions. Work must be complete by October 5, 2012 so that final inspections can be made shortly thereafter. Invoices are due by October 26, 2012.

**FINANCIAL IMPACT:** There is no impact, as \$75,000 funding is available in cost centre 21134 specifically for this grant program.

**CONCLUSION:** There were sixteen successful heritage property grant applications for the 2012 program. Payment of the grants to the successful applicants will be within the allotted \$75,000 fund.

**ATTACHMENTS:** Appendix 1: Summary of Heritage Grants 2012



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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: Elaine Eigl, Heritage Coordinator*

Appendix 1: Summary of 2012 Designated Heritage Property Grants

<b>Number Street</b>	<b>Applicant</b>	<b>Project</b>	<b>Grant Amount</b>
1045 Barberry Lane	Kimberly Van Wart	Cedar roof Replication	\$ 10,000.00
36 Bay Street	Janette Anderson	Window Replication/Restoration	\$ 5,000.00
41 Bay Street	T. Crawford & N. Kow	Porch Replication	\$ 5,000.00
32 Front Street South	Louie Manzo	Porch Replication	\$ 5,000.00
47 John Street South	Chris Dohn	Repaint wood window frames	\$ 677.50
36 Lake St	Ryan Hunwicks	Garden Shed Replication	\$ 4,124.50
2025 Mississauga Road	Hedia (Linda) Bouji	Eavestrough/downspout replacement	\$ 4,178.63
1051 Old Derry Road West	Bob & Cheryl Robson	Window Replication/Restoration	\$ 5,000.00
1090 Old Derry Road	Elizabeth Mowling	Stucco repair work	\$ 710.29
12 Peter Street South	Prince Edward Montessori	Painting, window recaulking, entrance stair crack repair	\$ 2,994.50
7079 Pond Street	Siobhan Kukolic	Wood Shutter Replication	\$ 1,722.10
7143 Pond Street	Yvan Godin	Painting and repair to board and batten	\$ 1,477.97
1173 Queen Victoria Avenue	Keith Davey	Painting stucco house, soffits, trim and porch apron	\$ 5,000.00
1695 The Collegeway	Josef Ger	Window Replication/Restoration	\$ 5,000.00
1101 Willow Lane	Betty Chartrand	Floor joists and beam replacement	\$ 10,000.00
1155 Willow Lane	Chris Cerar	Fascia replication, and restoration work on front façade dormer	\$ 3,292.25
			\$ 69,177.74

Please note, some projects require a heritage permit and some approvals are conditional.



# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

MAY 22 2012

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**DATE:** May 1, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: May 22, 2012

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Request to Demolish a Heritage Listed Property**  
**47 Oriole Avenue**  
**(Ward 1)**

---

**RECOMMENDATION:** That the property at 47 Oriole Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

**BACKGROUND:** Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property submitted a Site Plan application under file SPI 12/45 W1, to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mineola West cultural landscape, noted for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

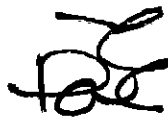
**COMMENTS:** The owner of the subject property requests permission to demolish the existing structure. The Heritage Impact Statement, by Strickland Mateljan Design Associates Ltd., is attached as Appendix 1. It is the consultant's conclusion that the house at 47 Oriole Avenue is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues are being reviewed as part of the Site Plan review process to ensure that the project respects the character of the surrounding community.

**FINANCIAL IMPACT:** There is no financial impact

**CONCLUSION:** The owner of 47 Oriole Avenue has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report that provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement



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Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator*



# Corporate Report

Clerk's Files

Originator's  
Files

Heritage Advisory Committee

MAY 22 2012

---

**DATE:** May 1, 2012

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: May 22, 2012

**FROM:** Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Request to Demolish a Heritage Listed Property**  
**2494 Mississauga Road**  
**(Ward 8)**

---

**RECOMMENDATION:** That the property at 2494 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

**BACKGROUND:** Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property submitted a Site Plan application under file SPI 12/41 W8, to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mississauga Road Scenic Route cultural landscape, noted for its historical origins and scenic quality as one of the oldest original roads within Mississauga.

**COMMENTS:** The owner of the subject property requests permission to demolish the existing structure. The Heritage Impact Statement, by David W. Small, is attached as Appendix 1. It is the consultant's conclusion that the house at 2494 Mississauga Road is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues are being reviewed as part of the Site Plan review process to ensure that the project respects the character of the surrounding community.

**FINANCIAL IMPACT:** There is no financial impact

**CONCLUSION:** The owner of 2494 Mississauga Road has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a documentation report that provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement



---

Paul A. Mitcham, P.Eng, MBA  
Commissioner of Community Services

*Prepared By: P. Wubbenhorst, Acting Senior Heritage Coordinator*



COPY

April 19, 2012

Councillor George Carlson,  
Chair, Heritage Advisory Committee,  
300 City Centre Drive,  
Mississauga, Ontario, L5B 3C1

Heritage Advisory Committee MAY 22 2012
--

WITHOUT PREJUDICE

Dear Sir,

RE: 1276 Clarkson Rd. N. Mississauga  
RE: 'Unlisting' Above Property

I bought this Property in 1982, Free and Clear of all encumbrances, and have lived and occupied it to date.

Since I had no family left here since the passing of my dear Mother, I decided to Sell this Property and put it on the MLS system in July, 2011.

I had 2 Offers and accepted one of them on about August 11<sup>th</sup>, 2011, at \$810,000., with a Completion date of October 31<sup>st</sup>, 2011.

Within a few days, I was advised by the Buyer that he WILL NOT be proceeding with the purchase of my Property, due to the restrictions imposed by the Heritage Listing.

I was extremely taken back and stunned by this since owning this Property for 29 years, having bought it in 1982, I have never been advised by the City of Mississauga and/or the Heritage Committee about my Property being so Listed and thereby preventing its Sale to this present Buyer.

I have now had to reduce the Value of this Property and have advertised it at a much lower price since then. Potential Buyers have all declined in their interest as the result of the City's and the Heritage Group's decision to bridle me and prevent my selling this Property. This move by these two sources have so far cost me hundreds of thousands of dollars in time, aggravation, lack of sleep, loss of other business opportunities, and so on.

As a more recent example since February 7th, 2012, there have been 38 interested parties who have declined to purchase this Property expressly due to the limitations imposed by the Heritage Committee.

I have even had my Property Inspected this year by one of your Ontario Heritage Trust 'Conservation Engineers', namely Mr. Mark Shoalts, P.Eng., CAHP.

Mr. Carlson, I would appreciate your assistance, together with several other professionals with your Department and the City of Mississauga, to review this request and the details about the condition of this Property, and have it De-Listed and allow me to sell this Property that has been in my possession for the 29 years, since 1982.

I would appreciate a response at your earliest convenience.

I am also including a few Attachments to back up my request, and I am delivering a Copy of this request to the following members of both your own Department as well as others at City of Mississauga.

Copies to: Paula Wubbenhorst  
Elaine Eigl  
Councillor Pat Mullin, Ward 2

Attachments: Engineering Report from Mark Shoalts, P.Eng., CAHP  
Copy of Agreement of Purchase and Sale, \$810,000., Closing Oct.31/2011  
Copy of Refusal to Purchase due to LISTING Restrictions  
Copy of 38 Buyers since Feb. 7, 2012 Refusing the Purchase

General Facts: to supplement the findings of the Engineering Inspection, to follow

- \*\* No INSURANCE available for the past 3 years due to Condition
- \*\* Original, year 1910 Knob and tube wiring
- \*\* Original, year 1920 Rusting & Leaking steel water pipes
- \*\* Septic Tank allowing bath and toilet water to seep onto yard and pool
- \*\* Second floor bath not usable for past 20 years due to rusted and leaking Pipes between kitchen ceiling and bathroom floor
- \*\* Extremely low (if any) water pressure at all faucets and toilets
- \*\* Rear room on main floor is 10 – 15 degrees colder in Winter and frozen Pipes under floor at rear need Electric fans to unfreeze the pipes

Excerpts from Engineer: Mechanical and Electrical systems are basically Obsolete  
Basement flooding to 1” to 2” during prolonged rain  
Badly deteriorated roof replacement is long overdue  
Two one story additions to the house are substandard  
Asbestos Pipe Insulation in basement

Note: The Attached Engineering Report has important notable items underlined in Red for easy reference.

I would appreciate having this property removed from being Listed as soon as possible.

Sincerely,



Karl Krasznai

January 10, 2012

Items that come to mind tonight about the property.

**\*\* No INSURANCE on property for past 2 years. Refused due to Condition as well as Asbestos Insulation of all pipes in the Basement.**

**\*\* Knob and tube original wiring**

**\*\* North East walls let water into basement with all day rain (1 to 1.5 inches)**

**\*\* Original plumbing >>>> leaking pipes  
Blocked pipes**

**\*\* Septic, although cleaned, allow bath and toilet water to seep onto yard toward pool**

**\*\* Second floor Bath not usable for 20 years: leaking bath tub and between floor original water pipes leaking through ceiling in the kitchen**

**\*\* Main floor bath: low water pressure. Very slight possibility of SHOWER ONLY, NOT for bathing in the bathtub**

**\*\* Rear Room and bath on main floor is 10 to 15 degrees colder in the winter**

**\*\* Frozen pipes under floor at rear addition need occasional Electric Fans to unfreeze the pipes.**

A handwritten signature in cursive script, appearing to read "Paul Kasner", with a long horizontal flourish underneath.

This Agreement of Purchase and Sale dated this 12 day of August 2011

**BUYER,** \_\_\_\_\_, agrees to purchase from

(Full legal names of all Buyers)

**SELLER,** ESZT KRASZNAI & KARL KRASZNAI, the following

(Full legal names of all Sellers)

**REAL PROPERTY:**

Address: 1276 Clarkson Road North fronting on the West side of Clarkson Road North in the City of Mississauga

and having a frontage of 100 ft more or less by a depth of 214.37 ft more or less

and legally described as PT LT 29, CON 2 SDS TT AS IN R0827472 SAVE & EXCEPT PTS 1, 2 & 3

43R29266 ; MISSISSAUGA (the "property").  
(Legal description of land including easements not described elsewhere)

**PURCHASE PRICE:** SEVEN HUNDRED FIFTY THOUSAND Dollars (CDN\$) 750,000.00  
~~Seven Hundred Twenty Five Thousand~~ EIGHT HUNDRED AND TEN THOUSAND Dollars  
~~SEVEN HUNDRED TWENTY FIVE THOUSAND~~ EIGHT HUNDRED AND TEN THOUSAND Dollars

**DEPOSIT:** Buyer submits Upon acceptance Dollars (CDN\$) 50,000.00  
(Herewith/Upon Acceptance/as otherwise described in this Agreement)  
Fifty Thousand Dollars (CDN\$) 50,000.00

by negotiable cheque payable to RE/MAX REALTY SPECIALISTS INC., BROKERAGE "Deposit Holder" to be held in trust pending completion or other termination of this Agreement and to be credited toward the Purchase Price on completion. For the purposes of this Agreement, "Upon Acceptance" shall mean that the Buyer is required to deliver the deposit to the Deposit Holder within 24 hours of the acceptance of this Agreement. The parties to this Agreement hereby acknowledge that, unless otherwise provided for in this Agreement, the Deposit Holder shall place the deposit in trust in the Deposit Holder's non-interest bearing Real Estate Trust Account and no interest shall be earned, received or paid on the deposit.

**Buyer agrees to pay the balance as more particularly set out in Schedule A attached.**

**SCHEDULE(S) A:** B attached hereto form(s) part of this Agreement.

**IRREVOCABILITY:** This Offer shall be irrevocable by Buyer until 11:59 p.m. on the 18/15/11 day of August 2011, after which time, if not accepted, this Offer shall be null and void and the deposit shall be returned to the Buyer in full without interest.

**2. COMPLETION DATE:** This Agreement shall be completed by no later than 6:00 p.m. on the 31/10/11 day of October 2011. Upon completion, vacant possession of the property shall be given to the Buyer unless otherwise provided for in this Agreement.

**3. NOTICES:** The Seller hereby appoints the Listing Brokerage as agent for the Seller for the purpose of giving and receiving notices pursuant to this Agreement. Where a Brokerage (Buyer's Brokerage) has entered into a representation agreement with the Buyer, the Buyer hereby appoints the Buyer's Brokerage as agent for the purpose of giving and receiving notices pursuant to this Agreement. **Where a Brokerage represents both the Seller and the Buyer (multiple representation), the Brokerage shall not be entitled or authorized to be agent for either the Buyer or the Seller for the purpose of giving and receiving notices.** Any notice relating hereto or provided for herein shall be in writing. In addition to any provision contained herein and in any Schedule hereto, this offer, any counteroffer, notice of acceptance thereof or any notice to be given or received pursuant to this Agreement or any Schedule hereto shall be deemed given and received when delivered personally or hand delivered to the Address for Service provided in the Acknowledgement below, or where a facsimile number is provided herein, when transmitted electronically to that facsimile number.

FAX No. 905-272-3833 (For delivery of notices to Seller) FAX No. 905-855-2201 (For delivery of notices to Buyer)

**INITIALS OF BUYER(S):** [Signature] **INITIALS OF SELLER(S):** [Signature]

  
**Karl Krasznai**

---

**From:** Len Howell [len@mississaugarealestate.com]  
**Sent:** Monday, August 29, 2011 10:13 PM  
**To:** kkrasznai@trebnet.com  
**Cc:** Stephanie Howell  
**Subject:** Re: Last e-mail

Karl:

Please be advised that the Buyer WILL NOT be proceeding with the purchase of your property on Clarkson Road.

We will submit a Mutual Release to your office tomorrow. As per the conditions in the offer, the reason for this is multiple, but primarily due to the restrictions imposed by the Heritage Listing, and the overall poor condition of the home and possible asbestos insulation in the basement.

Should you clear the 'Heritage Listing' presently clouding the development of the property, please let us know.

I would further suggest that you note this restriction on your listing.

Please acknowledge receipt of this notification.

Thank you for your time.

Len Howell.

On Tue, Aug 23, 2011 at 10:26 PM, <kkrasznai@trebnet.com> wrote:

- Len, this blasted electronic instrument added someone else's Surname as a signatory.
- It should have read: Karl KRASZNAI.

Sent from my BlackBerry® smartphone

--

Len HOWELL  
RE/MAX Realty Enterprises Inc.  
The # 1 Sales Representative for RE/MAX  
In Mississauga for 2003, 2005, 2006  
[www.mississaugarealestate.com](http://www.mississaugarealestate.com) PH: 905.855.2200

# Re/Max Realty Specialists Inc.

## Appointment Summary

Mar 31, 2012

Address: 1276 Clarkson Rd N

Owners:

<u>Salesperson</u>	<u>Broker Office</u>	<u>Phone#</u>	<u>Date/Time</u>	<u>S/I</u>	<u>BT</u>	<u>Conf</u>
			-			Y
			-			Y
			-			Y
Nada, Nasser	Re/Max Realty Specialists Inc.	905-272-3434	2/7/2012 2:00:00 PM-03:00 PM	S	D	C
Nada, Nasser	Re/Max Realty Specialists Inc.		2/8/2012 3:00:00 PM-04:00 PM	S	D	Y
ROWE, HORTENSE	ROYAL LEPAGE KINGSBURY REALTY	905-568-2121	2/17/2012 10:30:00 AM-11:30 AM	s	b	Y
ROWE, HORTENSE	ROYAL LEPAGE KINGSBURY REALTY	905-568-2121	2/17/2012 11:00:00 AM-12:00 PM	s	b	Y
DUMYN, KHRYS	RE/MAX PLATINUM LIMITED	416-730-0357	2/17/2012 12:40:00 PM-01:40 PM	S	B	Y
GOULART, MARIA	better homes and garden	905-363-4622	2/18/2012 11:00:00 AM-12:00 PM	s	b	Y
YANG, HONG	LIVING REALTY INC.	905-896-0002	2/23/2012 11:00:00 AM-12:00 PM	S	B	Y
Al-Kawalit, Joe	KINGSWAY REAL ESTATE BROKERAGE	905-268-1000	2/24/2012 1:30:00 PM-02:30 PM	S	B	Y
HADI, BASHAR	ROYAL LEPAGE REAL ESTATE SERVICES LTD.	905-822-6900	2/28/2012 2:00:00 PM-03:00 PM	S	B	Y
HADI, BASHAR	ROYAL LEPAGE REAL ESTATE SERVICES LTD.	905-822-6900	2/29/2012 11:30:00 AM-12:30 PM	S	B	Y
HOLMES, MARK STEPHEN	RE/MAX PROFESSIONALS INC.	905-270-8840	2/29/2012 2:30:00 PM-03:30 PM	I	B	Y
Trieu, Vlet	RIGHT AT HOME REALTY INC.	905-565-9200	3/1/2012 12:00:00 PM-01:00 PM	S	B	Y
Fox, Ryan	SUTTON GROUP-ASSURANCE REALTY INC.	416-236-6000	3/2/2012 5:30:00 PM-06:30 PM	S	B	Y
PETERSON, KATE	ROYAL LEPAGE REAL ESTATE SERVICES LTD.	905-822-6900	3/3/2012 2:30:00 PM-03:30 PM	S		Y
Elyas, Sarah	HOMELIFE/MIRACLE REALTY LTD	416-747-9777	3/3/2012 2:30:00 PM-03:30 PM	s	b	Y
Fan, Anna	SUTTON GRP SUMMIT	905-897-9555	3/10/2012 10:30:00 AM-11:30 AM	S	B	Y
LI, SEAN XIANG	RIGHT AT HOME REALTY INC.	905-565-9200	3/11/2012 2:30:00 PM-03:30 PM	S	B	Y
Reigate, Raegan	RE/MAX LEGACY REALTY LTD.	905-795-1900	3/13/2012 10:00:00 AM-11:00 AM	S	B	Y
GWOZDZ, GRACE	ROYAL LEPAGE REALTY CENTRE	905-279-8300	3/13/2012 6:30:00 PM-07:30 PM	S	B	Y
OWEN, LYNNE	ROYAL LEPAGE MEADOWTOWNE REALTY	905-821-3200	3/14/2012 10:30:00 AM-11:00 AM	S	B	Y
ANGEL, MARIO	HOMELIFE/RESPONSE REALTY INC.	905-949-0070	3/14/2012 3:00:00 PM-04:00 PM	S	B	Y
Nada, Nasser	Re/Max Realty Specialists Inc.		3/16/2012 3:00:00 PM-04:00 PM	S	D	Y
Bernard, Karen	Brampton	905-456-3232	3/18/2012 5:00:00 PM-06:00 PM	S	B	Y
Betts, Gary	Re/Max Realty Specialists Inc.		3/19/2012 11:00:00 AM-12:00 PM	S	D	Y
HADI, BASHAR	ROYAL LEPAGE REAL ESTATE SERVICES LTD.	905-822-6900	3/21/2012 12:00:00 PM-01:00 PM	S		Y
BERNARD, KAREN	RE/MAX REALTY SPECIALISTS INC.	905-456-3232	3/24/2012 5:00:00 PM-06:00 PM	S	B	Y
Filipkowska, Malvina	CENTURY 21 DREAMS INC.	905-338-1515	3/26/2012 6:00:00 PM-07:00 PM	S	B	Y
Hinds, Sterling	Re/Max Realty Specialists Inc.		3/27/2012 11:30:00 AM-12:30 PM	S	D	Y
Robson, Jonathan	RE/MAX REALTY ENTERPRISES INC.	905-855-2200	3/27/2012 2:00:00 PM-03:00 PM	S	B	Y
Gilmour, Greg	Re/Max Realty Specialists Inc.	905-858-3434	3/28/2012 11:15:00 AM-12:15 PM	S	D	Y
SILVA, PEDRO	COLDWELL BANKER HARTLAND REALTY INC.	905-568-9888	3/28/2012 6:30:00 PM-07:30 PM	S	B	Y
SILVA, PEDRO	COLDWELL BANKER HARTLAND REALTY INC.	905-568-9888	3/29/2012 1:00:00 PM-02:00 PM	S	B	Y
CASELLA CRUZ, SANDY	RE/MAX REALTY ENTERPRISES INC.	905-855-2200	3/29/2012 4:00:00 PM-05:00 PM	P		Y

Appointment Summary

Mar 31, 2012

Address: 1276 Clarkson Rd N

Owners:

SILVA, PEDRO	COLDWELL BANKER HARTLAND REALTY INC.	905-568-9888	3/31/2012 10:00:00 AM-11:00 AM	S	B	Y
Khan, Navaid	HOMELIFE SUPERSTARS REAL ESTATE LIMITED	905-629-0000	3/31/2012 4:30:00 PM-05:30 PM	S	B	Y

Total Appointments: 38

\*\*Appointment report does not include appointments booked if "Offer" option was selected from Show/Insp <Edit Pop up>\*\*

Structural and condition assessment  
1276 Clarkson Rd. N., Clarkson (Mississauga)



At the request of Karl Krasznai, owner of 1276 Clarkson Rd. N. in Clarkson, Mark Shoalts, P.Eng, CAHP, undertook a review of the house to assess its structural adequacy and condition. The house is listed on the City of Mississauga's Heritage Register, however it is not designated. This structural report does not attempt to address other than incidentally the heritage value of the property, only the present structural condition and the feasibility of bringing the existing structure up to current, or at least acceptable, standards. The inspection was visual only, with no intrusive or destructive testing. Existing building finishes cover most of the structural elements in the building, although in certain areas the structure is visible. Some areas were accessible to a hand-held camera only, other areas were not accessible at all; this is indicated in the report. No research was done on its heritage attributes or historical associations. Issues of weatherproofing, and the suitability, durability, and condition of finishes are addressed insofar as they relate to the structural conditions.



### Summary

1276 Clarkson Rd. N. is an early 20<sup>th</sup> century 1 ½ storey single family dwelling of solid brick construction, with 2 later single storey additions. The house has had few alterations to the main structure or finishes, and despite minimal maintenance the original house is in relatively good condition. The basic structure of the house is sound and could easily be restored to as-original with a modest amount of work. The original interior finishes are mainly intact and are of high quality. The additions were of inferior construction when built, have not aged as well as the main building, and should be removed. The mechanical and electrical systems in the house have had few upgrades since they were installed and are basically obsolete. There is essentially no thermal insulation in the house, and the style of construction makes insulating the walls difficult. Most of the windows in the house are original, are in relatively good condition, and could be restored with minimal intervention. The house sits on a large lot with mature trees and could easily accommodate a rear addition to provide increased space and modern amenities without having a significant impact on the sightlines from the street.

### Background

The building is listed in the Mississauga Heritage Register as a residential property of vernacular style and it is listed for its architectural merit. The heritage listing states:

*This is a one and one half storey structure constructed of brick that has been painted white. The building has a gable roof with asphalt shingles and gable dormers. The facade was originally three bay symmetrical and facing east. There are shutters for the windows which are double hung sash six over six and modern plate. Brick vertical voussoirs adorn the building. On the south facade there is a one storey addition, while other features of the building include a covered portico entry, north and south interior chimneys. There is a detached two door garage located within the confines of the property.*

The decade of construction is given as 1910.

There are some omissions and some minor errors in this statement that will be addressed in the appropriate section of this report.

### Building Overview and Condition Assessment

1276 Clarkson Rd. N. was likely built in the 1920s. It has 12" thick poured concrete basement walls extending from grade to approximately 4' below grade, with one interior brick bearing wall and one interior brick pier carrying a steel beam. There are four courses of 8" concrete block on top of the poured wall, faced with one wythe of clay brick on the exterior. The basement is approximately 7' high. The first floor structure of 2x12 wood joists @ 16" centres with diagonal 1x6 t&g subfloor sits on the concrete block foundation wall. The exterior walls of the original 1 ½ storey section of the house appear to be of clay brick three wythes thick laid in common bond; i.e. every sixth course consists of headers laid into the interior wythe. The second floor structure is concealed but appears to be the same as the first floor, and the roof is of wood frame sitting on the masonry walls. The interior of the brick walls is plaster, likely applied to wood lath on wood strapping on the brick. The original partitions and ceilings are all plaster on wood lath on wood framing.

The basement walls are in good condition, exhibiting very little deterioration, however the owner stated that there is a leakage problem of long standing and the floor floods to a depth of an inch or two during prolonged rain. There is a good concrete floor in the basement. The wood floor structure is in good condition and the joists are more than adequately sized for the spans.

The exterior of the brick walls has been painted white, however the original, unpainted surface of the bricks shows in one small area on the rear of the house where a wood step has been removed. The bricks are dark red, smooth-faced, and in very good condition. The window and door sills appear to be Indiana Limestone, and are in good condition. Some of the window openings have segment heads with brick arches, however most of the openings have straight heads with one soldier course of brick laid on steel angle lintels. Paint conceals the surface of most of the bricks but they appear to be in good condition. The gable ends have a wood shingle finish in good condition, also painted white.

The roof structure is straight, and although the house is badly in need of new shingles there do not appear to be any problems with the roof structure on the original house. The moulded fascias on the gables are in good condition, needing only scraping and painting. There is a shed dormer with wood shingled walls on the rear of the house, it is in reasonable condition. It appears to be original to the house. The house appears to have two layers of badly deteriorated asphalt shingles over a layer of wood shingles. A new roof is long overdue; the original would most likely have been wood. There are remnants of the original square eavestroughs on the south side that could be used as a pattern for replacing them.

There are two one storey additions on the house, one on the south and one on the west. The south addition appears to be older, and has a brick exterior. The west addition is clad with aluminum siding. Both additions have crawlspaces; only the south crawlspace was viewed. While the south addition is the better constructed of the two and could be salvaged with some effort, neither addition was constructed with consideration for the original house aesthetic, or to very high standards of construction. A lack of maintenance for many years has brought them to the point where removal is the most practical option.

The heritage listing states that the original windows are double hung six over six; however this is only true of some of the second storey windows. The two main first floor front windows, unfortunately since replaced, were originally steel casement sash. There is a similar window still extant in the south, now interior, wall. There is a small steel sash casement window in the north wall of the first floor dining room, and a larger one in the east, or front wall, in the second storey bathroom, centred between the front dormers. The balance of the second floor windows are apparently original, double hung six-over-six wood sash in very good condition. They have had aluminum storms installed on the exterior, and they need some maintenance in the form of scraping, painting, new sash cords, and weatherstripping, however they are well-made windows that have already provided service many years in excess of what can be expected from the best modern replacements and could provide more service. Good quality storm windows could upgrade their thermal performance to something appropriate to today's expectations. There are panelled exterior shutters on the second floor windows; some can be restored but some require replacement.

The front door is original. It is in good condition, and is a very well made 2 1/4 " thick oak door consisting of a 3-light window over a large single raised panel. There is decorative brickwork over the door, somewhat obscured by the paint, and there is an attractive front portico that also appears to be original to the house. Despite the lack of maintenance, new shingles and a good scraping and painting would restore the portico.

Inside the front door is a small vestibule with an oak French door and sidelight leading to the front hall. The hardware on the French door, like most of the door hardware, appears to be original and is a good indicator of the age of the house. The hinges were made by Stanley, and are marked with a trademark used from approximately 1921 to 1934. This, along with other indicators in the house, points to a mid-1920s date of construction. The stairs lead straight up from inside the French door, and wide, trimmed openings lead left and right to the living room and dining room. The living room has a wood-burning fireplace with its original cast iron front and white marble mantle. The floors are narrow oak strip in a natural finish, and are in good condition and very tight for a floor of this style and age. The doors and trim have all been painted but it appears that the front rooms were finished in oak and the balance of the house in pine. All of the doors other than the French door are single panel.

The second floor is largely original, including some of the bathroom fixtures and the mosaic tile on the bathroom floors. The windows have what appear to be original wood valances. The plaster finish is good for the most part except where damaged by a roof leak. The plaster on the partitions is exceptionally good.

The kitchen appears to have been renovated when the rear addition was constructed, probably in the 1950s. The cabinets and finishes have few redeeming qualities. Both the south side addition and the rear addition have awkward access from the house, poor quality finishes in poor condition, and obsolete mechanical and electrical services. Both rooms are difficult to heat, and frozen water pipes are common in the rear addition.

The electrical panel in the basement has been upgraded to a breaker panel, and the wiring visible in much of the basement is romex, however that appears to be the extent of the electrical upgrades. The house wiring is the original knob and tube, and the receptacles have no ground wire. The heating system is hydronic, with a boiler in the basement and cast iron radiators throughout the house. There is pipe insulation in the basement of an age and appearance that suggest it could be asbestos, and it should be tested before being disturbed. The plumbing in the house is barely functioning. Water flow through the galvanized pipes is nearly non-existent, and the replacement of some sections of waterline in the basement with copper has likely exacerbated the problem. The drains are suspect; the owner reports that a former septic tank in the rear yard will on occasion leak into an abandoned swimming pool. Interior leaks are legion.

The complete mechanical and electrical systems in the house are in a state of extreme disrepair and must be considered obsolete.

The rear yard apparently contains a septic tank that must be decommissioned and removed. There is also a concrete swimming pool which does not appear to be beyond repair however it is beyond the author's expertise. There is a detached garage to the north-west of the house that is in fair condition and could be restored; it is architecturally sympathetic to the house and could be contemporary although the bricks used on the front piers are different than the bricks on the house. The original house at 1276 Clarkson Rd. N. remains relatively untouched and in good condition underneath some later paint and two later additions. Removal of the additions would leave a structure that could be restored in appearance and upgraded in function to what is expected for today's built environment. The neighbourhood is home to much larger houses than the original dwelling, however the lot is sufficiently large to permit a sympathetic and unobtrusive addition in keeping with what might be expected for the neighbourhood and for today's living.



Mark Shoalts, P.Eng., CAHP  
January 21, 2012

MAY 22 2012

**Memorandum**Community Services Department  
Culture Division

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**TO:** Chair and Members of the Heritage Advisory Committee

**FROM:** Paula Wubbenhorst, Acting Senior Heritage Coordinator

**DATE:** May 1, 2012

**FILE:** 1786 Bristol Road West

**SUBJECT:** **Proposed Chain Link Fence  
1789 Poets Walk**

---

The subject property is adjacent to the Streetsville Public Cemetery, 1786 Bristol Road West. The cemetery is protected with a notice of intent to designate under the *Ontario Heritage Act*. The City's Official Plan allows for City staff to require a Heritage Impact Statement when any property alteration might adversely affect a heritage resource.

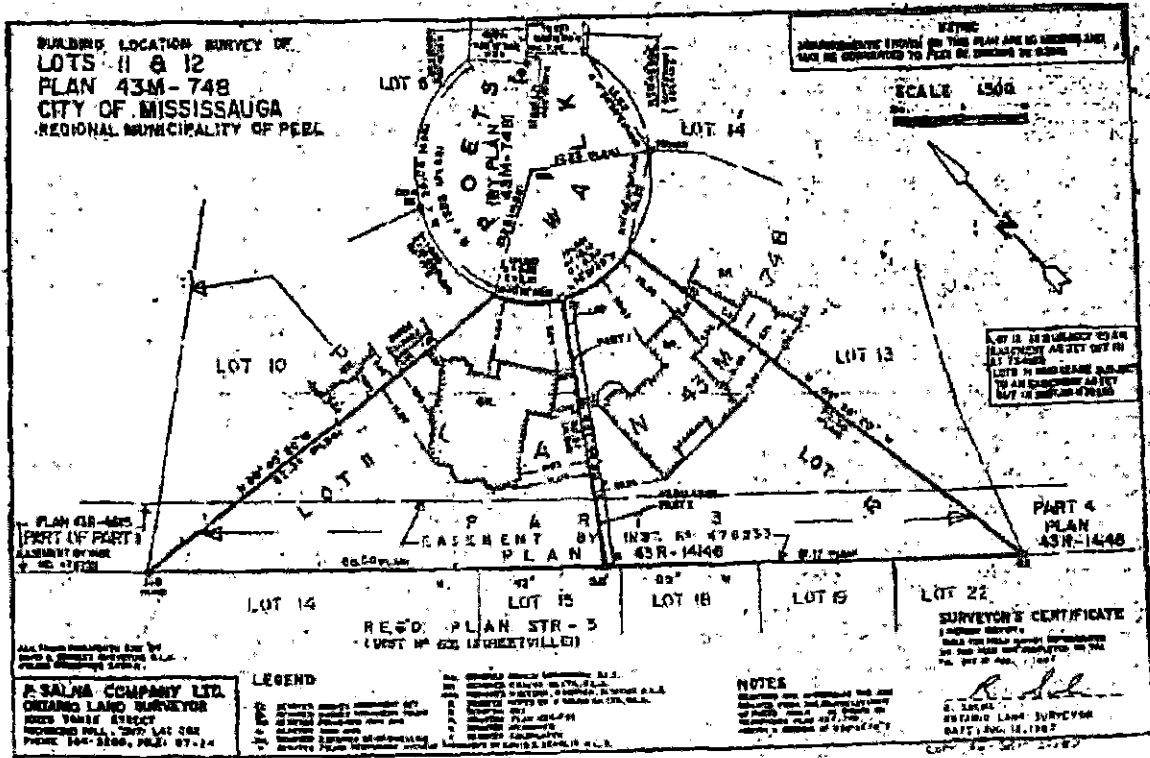
The attached submission from the subject property owner outlines his intent to replace his cedar fence, which backs on to the cemetery, with a chain link fence that would allow his cedar hedge to thrive. In order to preserve the uniformity of at least the look of the cedar fence along the edge of the cemetery, staff have discussed other options with the property owner to no avail.

Because the fence resides on the property at 1789 Poets Walk, rather than the heritage resource, no heritage permit is required. As such, this memorandum and its attachment are provided for your information only.

Paula Wubbenhorst  
Acting Senior Heritage Coordinator  
Culture Division  
905-615-3200, ext. 5385  
[paula.wubbenhorst@mississauga.ca](mailto:paula.wubbenhorst@mississauga.ca)

1789 Poets Walk plan to Re-do fence at rear of property bordering cemetery

Current wood (cedar) fence that separates 1789 Poets Walk and the Streetsville Cemetery will be replaced with a 6 foot high black chain-link fence of equal length and equal positioning as a property separator. Additional privacy will be provided by the existing cedar hedge which is currently directly behind the fence on the home owner yard side. Expense of fence installation will be paid by homeowner. Fence resides between Lot 11 (homeowner lot) and Lot 14/15 (cemetery lot).



Quote from fence contractor with fence material details is shown below. Fence is 212 feet in length, 6 feet high and of high quality materials. It includes upgraded post sizes and post sizing options that go beyond base standards to maximize longevity, structural integrity and visual appeal.



Roma Fence (Toronto) Inc. - 1821 Stone Church Rd. E., Mississauga, Ontario L4W 2G9 - (905) 574-7888  
 Roma Fence (Wood) Inc. - 1565 Ashburn Road, Unit A, Etobicoke, Ontario L7Y 2V9 - (905) 475-2961  
 Roma Fence (Toronto) Inc. - (416) 203-4746  
 Roma Fence Ltd. (Head Office) - 24 Cavendish Road, Brampton, Ontario L6P 8S4 - (416) 798-7598  
 Roma Fence (East) Inc. - 2488 Steeles Ave. E., Box 343, Gorseway, Ontario L0H 1G8 - (416) 219-7278



RESIDENTIAL CONTRACT BILD # 15043

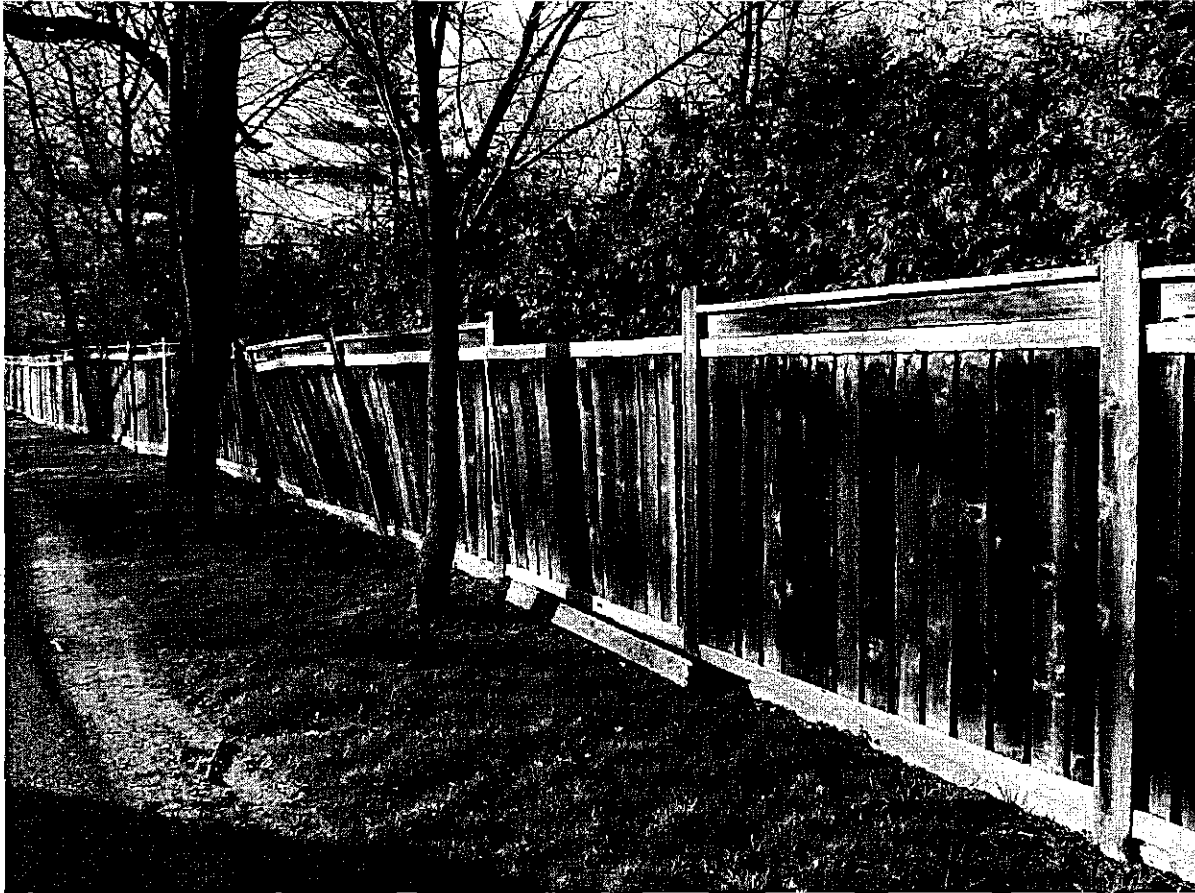
NAME: Rohi Anderson WORK #:  
 ADDRESS: 1789 Carls Walk, Mississauga CALL # 4-751-1610

QTY.	DESCRIPTION	PRICE			
		UNIT PRICE	TOTAL	LESS DISC.	TOTAL
222	3" x 3" x 1/2" high 30 Black Chain Link 1/4" line posts driven @ 2 spacing 1/4" top rail, bottom rail 2.75" x 1.75"				
1	7' white Gate				
4	2" x 2" Terminal Posts				
1	6'6" Post-Panel ornamental end fence				
211	remove 2 1/2" x 2" wood fence install new gates				
DISCOUNT					
SECOND DEPOSIT					
PAY ROMA ON COMPLETION					
TOTAL CONTRACT PRICE (incl. H.S.T.)					

\*\*\* CUSTOMER TO PLACE PIDS FOR FENCE LINES \*\*\*  
 R. Anderson (Signature) Apr 5/16 (Date) (Stamp)

CONTRACT SUBJECT TO CONDITIONS INCLUDED ON THE REVERSE SIDE OF THIS CONTRACT

Current fence view from Cemetery is shown in the following two photos. First shows degraded state of fence.





My home is shown in the next photo behind the fence.



The next two photos show the hedge view from my yard. I expect the view from the cemetery will be similar after the fence is replaced and the cedars have west exposure to the sun allowing the fence facing branches blocked by the current wood fence to fill in.





The following photos show various types of fencing that currently surround the cemetery.

Cedar Fence Similar to mine repaired with pressure treated wood.



Cedars with bottoms cut for some reason



Most similar to my desired end state. Mine would have a larger black chain-link though.



Similar chain-link but no cedars.



Unusual Fence  
combo





Various fence types in one picture.



MAY 22 2012

**Memorandum**Community Services Department  
Culture Division

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**TO: Chair and Members of the Heritage Advisory Committee**

**FROM: Elaine Eigl, Heritage Coordinator**

**DATE: May 10, 2012**

**SUBJECT: Proposed Wood Window Restoration Workshop – September 2012**

---

In attempts to increase outreach to heritage property owners, as per ongoing dialogue and the 2008 Visioning Session, Heritage Planning staff propose that the Heritage Advisory Committee host a window restoration workshop.

The idea of a wood window restoration workshop arose during a recent meeting of the Designated Heritage Property Grant Subcommittee, in response to a number of applications, received through the City's 2012 Designated Heritage Property Grant program, which requested funds to replace wood windows. Further, Heritage Planning staff spends a large amount of time explaining to the public that restoration of heritage resources must occur, whenever possible, before replacement can be considered an option. Staff and the Subcommittee feel that a workshop would be an opportunity to educate the public about alternatives to replacement, thereby spreading the message to many people at once.

Such a program would have budget implications of approximately \$500, based on a half day weekend workshop in September. This would cover facility rental, the Restorer's fee, promotional costs and refreshments on the day of the event.

Approval for funding is requested for this proposed outreach program.

Regards,

Elaine Eigl  
Heritage Coordinator  
City of Mississauga  
905-615-3200, ext. 5070  
[Elaine.Eigl@Mississauga.ca](mailto:Elaine.Eigl@Mississauga.ca)



# WILLOWBANK

NATIONAL HISTORIC SITE

SCHOOL OF RE:

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[Definitions & Concepts](#)
[Readings & Bibliography](#)
[Consulting Services](#)
[Short Courses](#)
[O](#)

Cultural landscapes are not places, they are ideas. They are ideas embedded in a place, but it is the idea that is cultural, and the resulting experience of place that is the cultural landscape.



## HONOURING THE PAST, EMBRACING THE FUTURE

### *A one day Willowbank symposium*

The 2012 Spring Symposium is a response to changing attitudes in both the conservation field and the broader design and development field.

The morning session will provide an international, national and Toronto/Niagara perspective with the afternoon session providing a Willowbank perspective.

**Date: Saturday May 26**

**Time: 10 am - 4:30 pm**

**Registration Fee: \$40**

**Place: Willowbank Campus, 5 Walnut Street and 14487 Niagara Parkway**

### SPEAKERS

#### **Morning, 10 am - 12:15 pm:**

International perspective, Christina Cameron

National perspective, Chris Wiebe

Toronto/Niagara perspective: Joe Lobko

#### **Afternoon, 1:30 pm - 4:30 pm:**

Willowbank in the theory/practice sphere: Geordie Manchester

Willowbank in the training/education sphere: New Dean of School, to be announced on May 5th.

Willowbank in the cultural landscape sphere: Lisa Prosper

Willowbank in a national/international context: Julian Smith

Coffee breaks and lunch are included with your registration fee. Please let us know if you have dietary restrictions.

Accommodation suggestions and things to do around campus, *Learn more*

**Registration Options:**

- **Online**
- **Download Registration Form (fillable form, adobe acrobat prof. compatible, download & save)**
- **Download Registration Form (adobe reader compatible)**
- **Contact:**

**Shelley Huson**  
**905-262-1239 x23**  
**school@willowbank.ca**



**WILLOWBANK**

14487 Niagara Parkway, Box 212  
Queenston, ON,  
L0S 1L0  
T: 905.262.1239  
E: willowbank@willowbank.ca  
W: willowbank.ca

Julie Lavertu

From: Heritage Mississauga [jgaspar@heritagemississauga.org]  
 Sent: 2012/05/07 2:40 PM  
 To: Julie Lavertu  
 Subject: Heritage Mississauga welcomes John Tory

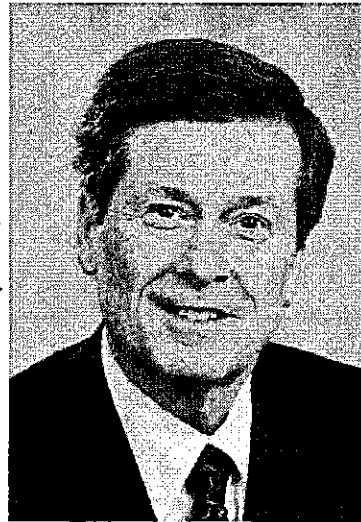
Heritage Advisory Committee

MAY 22 2012

## "Heritage, Lessons Learned"

### Heritage Mississauga Invites you to Lunch with John Tory

Born and raised in Toronto, John is the host of NEWSTALK 1010's afternoon drive show "The Live Drive" which airs Monday to Friday. A recent recipient of the Order of Ontario, John began his career as a radio journalist, later practicing law before serving as commissioner of the Canadian Football League from 1996 to 2000. In 2003, John was a close runner up in the Toronto mayoral race with David Miller, and later became leader of the Ontario Progressive Party from 2005 to 2009. John says "I try to measure everything I do by whether it can make a difference"; he lives this by lending his support to a number of local charities.



We invite you to join us and hear someone who is uniquely qualified to provide a community and a **business** perspective on the issue of how heritage affects our lives and economic well being.

**When:** Tuesday June 26th, 2012, 11:30am-1:30pm

**Where:** Historic Glenora Inn,  
 1695 The Collegeway, Mississauga, Ontario, L5L 3S7

**Tickets: \$100.00 each, Table of 8: \$700.00**

Charitable receipts will be issued.

10 -2



To book your tickets please contact  
Heritage Mississauga 905-828-8411  
ext. "0" or by email at  
[info@heritagemississauga.org](mailto:info@heritagemississauga.org)

Charitable Number: 11924 5660 RR0001

Heritage Mississauga  
1921 Dundas St. W.  
Mississauga, Ontario L5K 1R2  
[www.heritagemississauga.com](http://www.heritagemississauga.com)



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Heritage Mississauga | 1921 Dundas St. W. | Mississauga | Ontario | L5K 1R2 | Canada

**STATUS OF OUTSTANDING ISSUES FROM THE HERITAGE ADVISORY COMMITTEE**  
**Prepared by Julie Lavertu, Legislative Coordinator, for the May 22, 2012 Heritage Advisory Committee Agenda**

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
Bell Tower Meadowvale Village Hall	Oct/09	6970 Second Line West	HAC-0076-2009	Staff to report back with costing.
	Dec/09		HAC-0083-2009	Deferred for further review of possible options for funding and management of the project.
	Nov/11		Information	The Chair asked that this matter remain on the chart because staff were meeting on this matter today.
	Jan/12		Information	Ms. Wubbenhorst said that Facilities and Property Management staff were working on the Bell Tower at Meadowvale Village Hall and would assess if the roof could hold the Bell Tower.
	Mar 2/12		Information	The Chair gave an update on the Bell Tower, which is proceeding, and indicated that this matter would return to the Committee in the future. Mr. Spaziani asked about the design. Ms. Wubbenhorst responded that the design is based on his design.
	Apr/12		Information	The Chair gave an update on the Bell Tower and briefly discussed a recent meeting regarding this project and upcoming work on the project's structural feasibility.
Rooftop Solar Panels	Mar/10	N/A	HAC-0026-2010	Heritage staff to review and report back to HAC.
	Feb/11		Information	Ms. Burt indicated that she plans to hire a student to do research on rooftop solar panels.
	Nov/11		Information	Ms. Wubbenhorst noted that this matter was outstanding and should remain on the chart.
Dowling House	Jul/11	2285 Britannia Road West	HAC-0054-2011	That the request by the property owner to relocate the Dowling House located at 2285 Britannia Road West, which is designated under By-law 0249-2010, under Section 29 of the <i>Ontario Heritage Act</i> , be approved by the Director of Culture (or designate) in accordance with By-Law 0184-2011, the By-Law delegating authority to staff during Council's Summer

11-1

Heritage Advisory Committee  
MAY 22 2012

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
				<p>Recess, pending all required approvals from the City of Mississauga for any development applications filed on the lands on which this building is currently located; and compliance, to the satisfaction of the Director of Culture, with all conditions outlined in the report from the Commissioner of Community Service, dated June 29, 2011, including the de-designation of the Dowling House during relocation and re-designation following relocation.</p> <p><b>As a result of the above recommendation, Heritage staff must amend the Designation By-Law and de-designate the property during relocation and re-designate the property following relocation.</b></p>
	Nov/11		Information	<p>Ms. Wubbenhorst noted that this matter was outstanding and should remain on the chart. Mr. Wilkinson asked for an update on the property. Ms. Eigl said that she had not heard from the property owner's agents since August and that Heritage staff were monitoring the property. Mr. Spaziani stated that Mark Hall was no longer an agent for the property owner and that he had been asked to work on the file and had refused. The Chair noted disappointment about the status of the property, especially with the upcoming winter, and asked if by-laws could enforce the property's preservation. Ms. Burt said that Heritage staff would ask Planning and Building staff to visit the property and document any issues.</p>
	Jan/12		Information	<p>Ms. Wubbenhorst stated that a Building Inspector visited the Dowling House and found it secure on January 6, 2012 and that the property owner indicated that the project would proceed.</p>



Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
	Mar 2/12		Information	Committee members asked about the Dowling House and discussed the property's condition, status, and next steps. Ms. Wubbenhorst said that Heritage staff was waiting for the restoration plan. Ms. Eigl said that the property owner had complied with property standards orders. The Chair asked Heritage staff to obtain an update for the next meeting.
	Apr/12		Information	Ms. Wubbenhorst discussed the Dowling House and said that Heritage staff contacted the property owner for an update and that a moving plan was recently submitted which Heritage staff will review along with working on a Letter of Credit. Mr. Wilkinson discussed the Dowling House and construction activities on the property, including a new foundation. Ms. Wubbenhorst said that she would look into this matter.
Port Credit Post Office, Customs House and Armoury	Jan/11	31 Lakeshore Road East	HAC-0001-2011	That the proposed heritage designation of the Port Credit Post Office, Customs House and Armoury, 31 Lakeshore Road East, be deferred pending the owner's submission of a Heritage Impact Statement that is satisfactory to Culture Division staff.
	May/11		Information	Ms. Eigl noted that she would be meeting with the property owner's agents on May 24, 2011 about their plans for the property. The Vice-Chair requested a report from Ms. Eigl after her meeting.
	Jul/11		Information	Ms. Burt said that the property owner had met with his consultant, but that Heritage staff had not received the property's HIS.
	Nov/11		Information	Ms. Wubbenhorst said that Heritage staff had received the HIS and that the Committee would be reviewing this matter at an upcoming Committee meeting in 2012.
	Mar 2/12		Information	Committee members discussed the Port Credit Post Office, Customs House and Armoury and asked staff for an update. Ms. Wubbenhorst said that Heritage

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
				staff had not yet received anything further for this property.
Outdoor Rifle Range	Mar/11	1300 Lakeshore Road East	Information	Ms. Eigl advised that Park Planning staff are working on this matter, that she will look into this matter and update the Committee at a future meeting, and that she will organize a site visit with Councillor Tovey to clarify the location of the property.
	Oct/11		Information	Ms. Wubbenhorst requested clarification that the Rifle Range issue included the designation of the Outdoor Rifle Range and, thus, should remain on the chart. Councillor Tovey indicated that he wanted this property to be designated and that he believed that the Region of Peel supported designation.
	Nov/11		Information	Ms. Wubbenhorst said that Heritage staff would contact the Region of Peel to see if they supported designation. The Vice-Chair encouraged staff to continue working on this matter and indicated that reinstating a nearby wetland may impact the property and the Region's position. Ms. Burt said that Heritage staff would cooperate with Region staff.
	Jan/12		Information	Ms. Wubbenhorst clarified that Heritage staff needed to draft a report on the Outdoor Rifle Range before asking the Region of Peel about designation. She added that the latter was on the 2012 Workplan
Heritage Advisory Committee's 2011 Budget	Apr/11	N/A	HAC-0023-2011	That the Legislative Coordinator for the Heritage Advisory Committee, in consultation with the Director of Arts and Culture, prepare a Memorandum for the Heritage Advisory Committee's May 24, 2011 meeting regarding the Heritage Advisory Committee's draft 2011 budget and include information about budget allocations for the City of Mississauga's other Advisory Committees of Council and the Heritage Advisory Committee's budget and spending history.

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
	May/11		Information	Ms. Lavertu said that she would outline the Committee's budget and spending history after the budgets for the City's Advisory Committees of Council were reviewed as part of the Office of the City Clerk's 2011 Workplan.
	Nov/11		Information	Ms. Lavertu noted that the Committee's spending history would be provided in 2012 after the Office of the City Clerk's 2011 Workplan was completed. The Vice-Chair asked if Heritage staff could provide the Committee with a session about the budget for heritage at a future meeting. Ms. Burt provided a brief overview about the budget and noted that no additional money to the tax base was being requested, that more staff would be requested for 2013, as the workload of Heritage staff had increased, and that a brief session about the budget could be provided to the Committee. The Chair said that it would be useful for Heritage staff to review capital amounts for heritage grants for future budget years.
	Jan/12		Information	Ms. Lavertu briefly discussed the Committee's 2011 budget and Recommendation HAC-0023-2011 and noted that this information would be provided to the Committee once the Office of the City Clerk's 2011 Workplan had been finalized.
Heritage Advisory Committee/ Subcommittee Reviewing Preliminary Design Plans for Heritage Listed Properties	Sept/11	N/A	HAC-0077-2011	That Heritage staff follow up with Legal and Planning and Building staff about the possibility of the Heritage Advisory Committee or a Heritage Advisory Committee Subcommittee reviewing preliminary design plans for heritage listed properties in advance of approval by Heritage staff.
	Nov/11		Information	Ms. Burt noted that Heritage staff would be meeting with Planning and Building staff on this matter soon

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
				and would update the Committee in 2012.
	Jan/12		Information	Ms. Wubbenhorst said that Heritage staff is working on Recommendation HAC-0077-2011 and would have a Corporate Report at a future Committee meeting on this matter.
QEW Credit River Bridge Class Environmental Assessment Study	Mar 2/12		HAC-0020-2012	(1) That the correspondence dated February 7, 2012 from Catherine Christiani, Community Workshop Coordinator, Ecoplans, with respect to the QEW Credit River Bridge Class Environmental Assessment Study, Notice of Community Workshop #3 be received; and (2) That staff invite Ministry of Transportation representatives to make a deputation at a future Heritage Advisory Committee meeting with respect to the QEW Credit River Bridge Class Environmental Assessment Study.
	Mar 20/12		Information	Ms. Wubbenhorst said that Heritage staff informed the project team that the bridge and nearby properties are listed. She did not know if this provincial project was subject to a heritage permit and HIS, but noted that she would look into this. Ms. Wubbenhorst noted that, to her knowledge, the Committee had not reviewed the bridge's lights and arches and that staff is working on the Committee's deputation request with the project team.
	Apr/12		Information	Ms. Wubbenhorst said that Heritage staff asked for a HIS and archaeological assessment in March 2010 from the QEW Credit River Bridge project team. She said that the project team advised her that these two documents would be included in their Transportation Environmental Study Report which will be issued in the fall of 2012. She added that the project team would be making a deputation to the Committee at their May 2012 meeting.
Committee's options for	Apr/12	N/A	HAC-0034-2012	That the Legislative Coordinator schedule a meeting in the near future for the Heritage Advisory

Property Name	HAC Meeting	Property Address	HAC Recommendation	Status
streamlining the current process for properties on the Heritage Register located in Cultural Landscapes				Committee and Heritage staff to discuss the Committee's options for streamlining the current process for properties on the Heritage Register that are located in Cultural Landscapes.

151  
**Meadowvale Village Heritage Conservation District Review Committee**

Heritage Advisory Committee

MAY 22 2012

May 7, 2012.

Heritage Advisory Committee  
City of Mississauga  
300 City Centre Dr.  
Mississauga, ON L5M 3C1

Attention: George Carlson, Chairman

Dear Councillor Carlson:

Re: Dave Moir residence, 7015 Pond St. Meadowvale Village

The Meadowvale Village Heritage Conservation District Review Committee met Friday, May 4<sup>th</sup> to review the preliminary plans for an addition to the residence at the above address.

This Committee recommends approval in principle of the plans as discussed. Final approval will be determined after review of the site plan working drawings, which should indicate all exterior materials and window sizes.

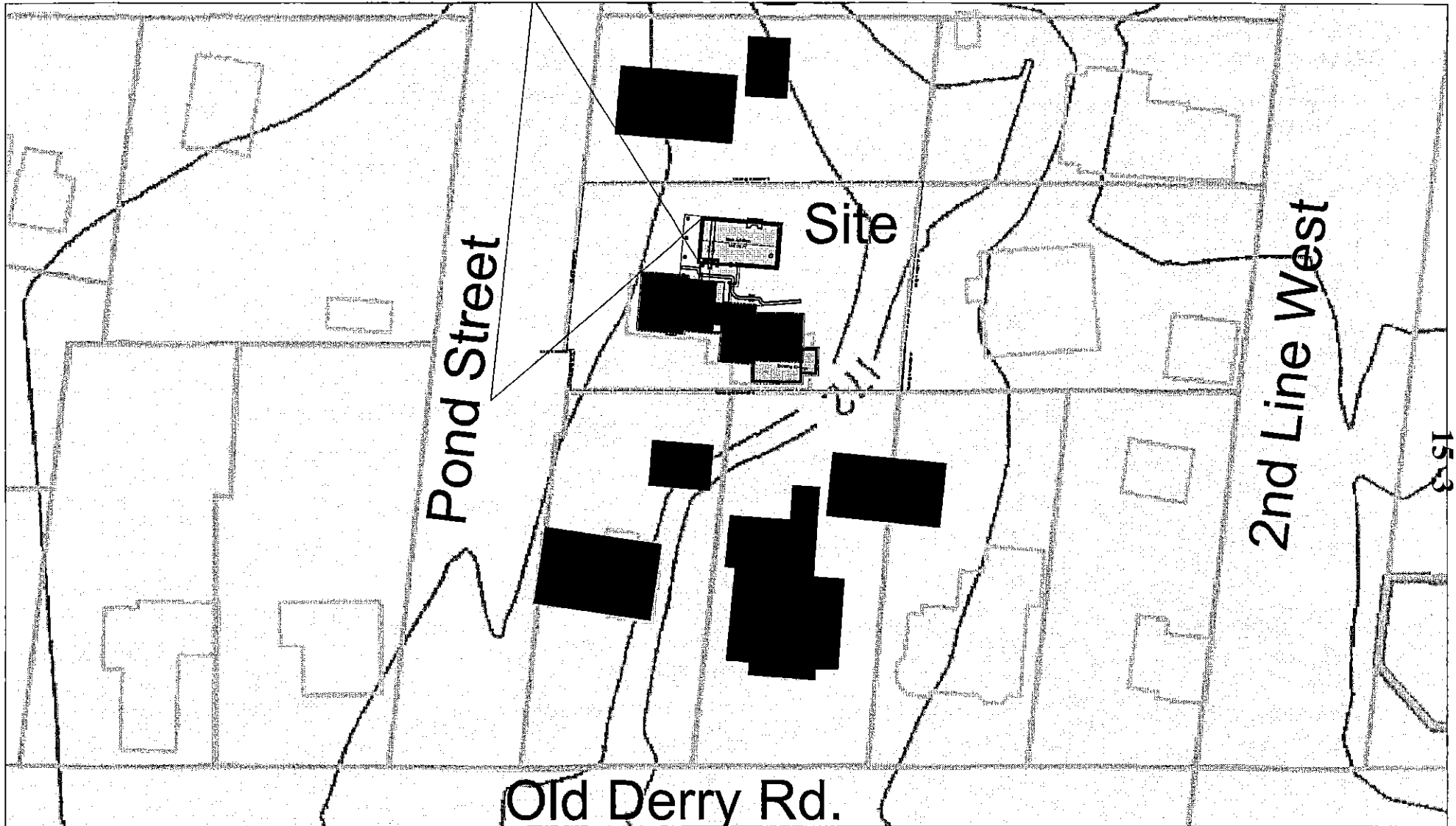
Should further information or comment be required, please do not hesitate to contact the writer.

Yours truly,

MEADOWVALE VILLAGE H.C.D.R.C.



Jas.P. Holmes, Chairman  
c.c. Dave Moir  
Michael Spaziani



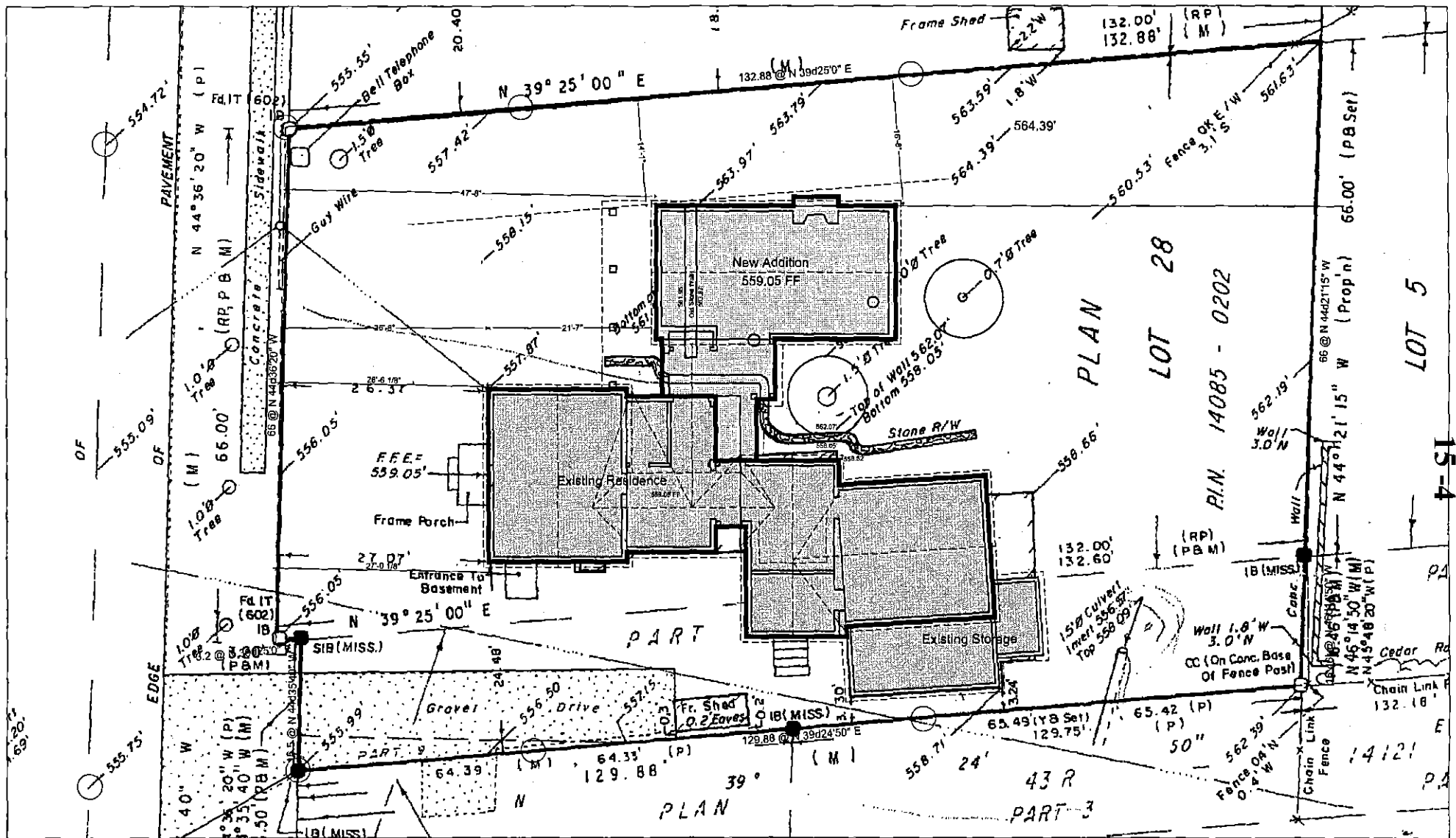
**MSA**

MISSISSAUGA, ONTARIO  
PLANNING & DESIGN  
CONSULTANTS

The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

Street Context Plan

April 2, 2012

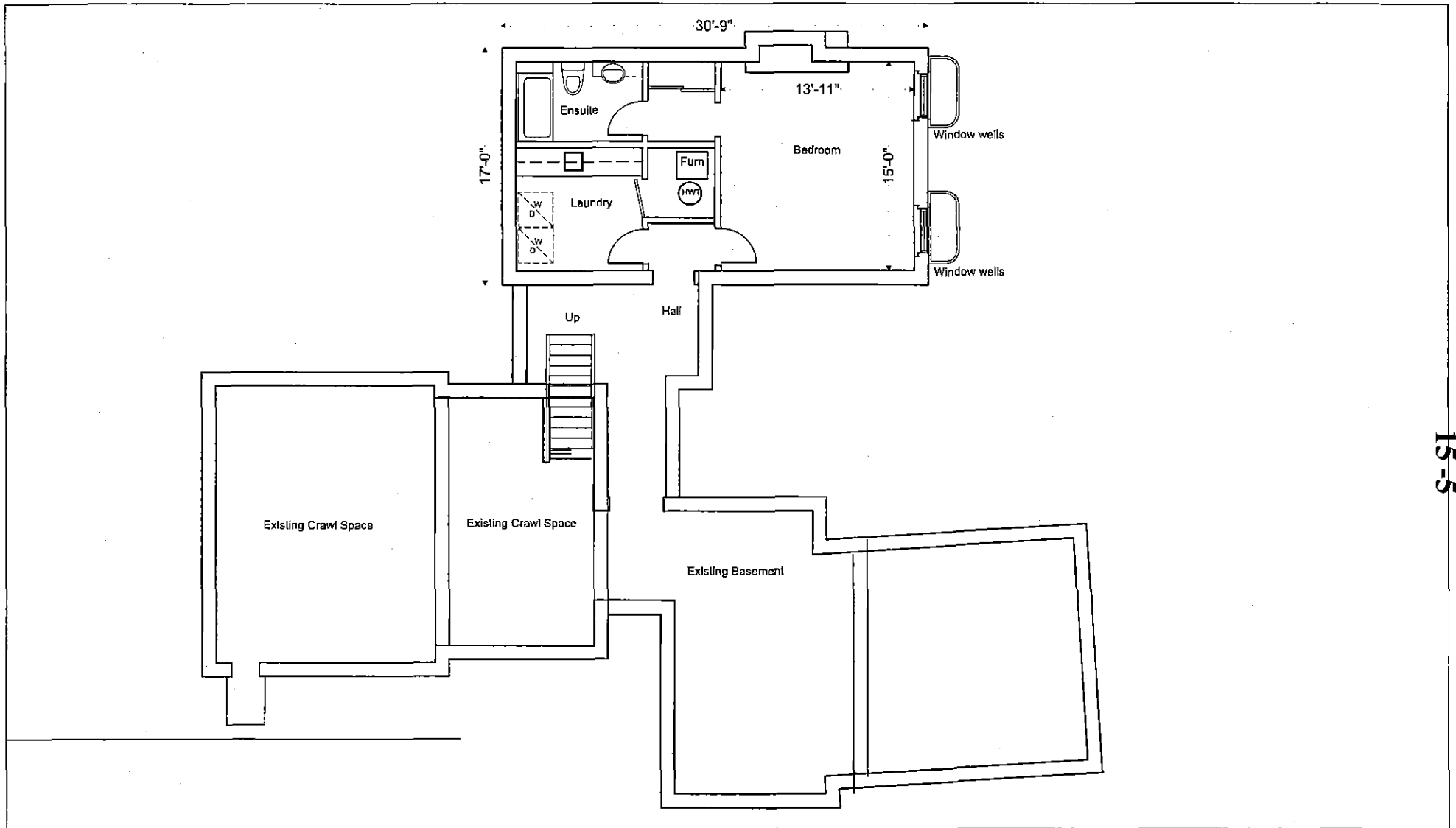


**MSA**

The Moir Residence  
 7015 Pond Street  
 Meadowvale Village, Mississauga, Ontario

Site Plan  
 April 2, 2012





15-5

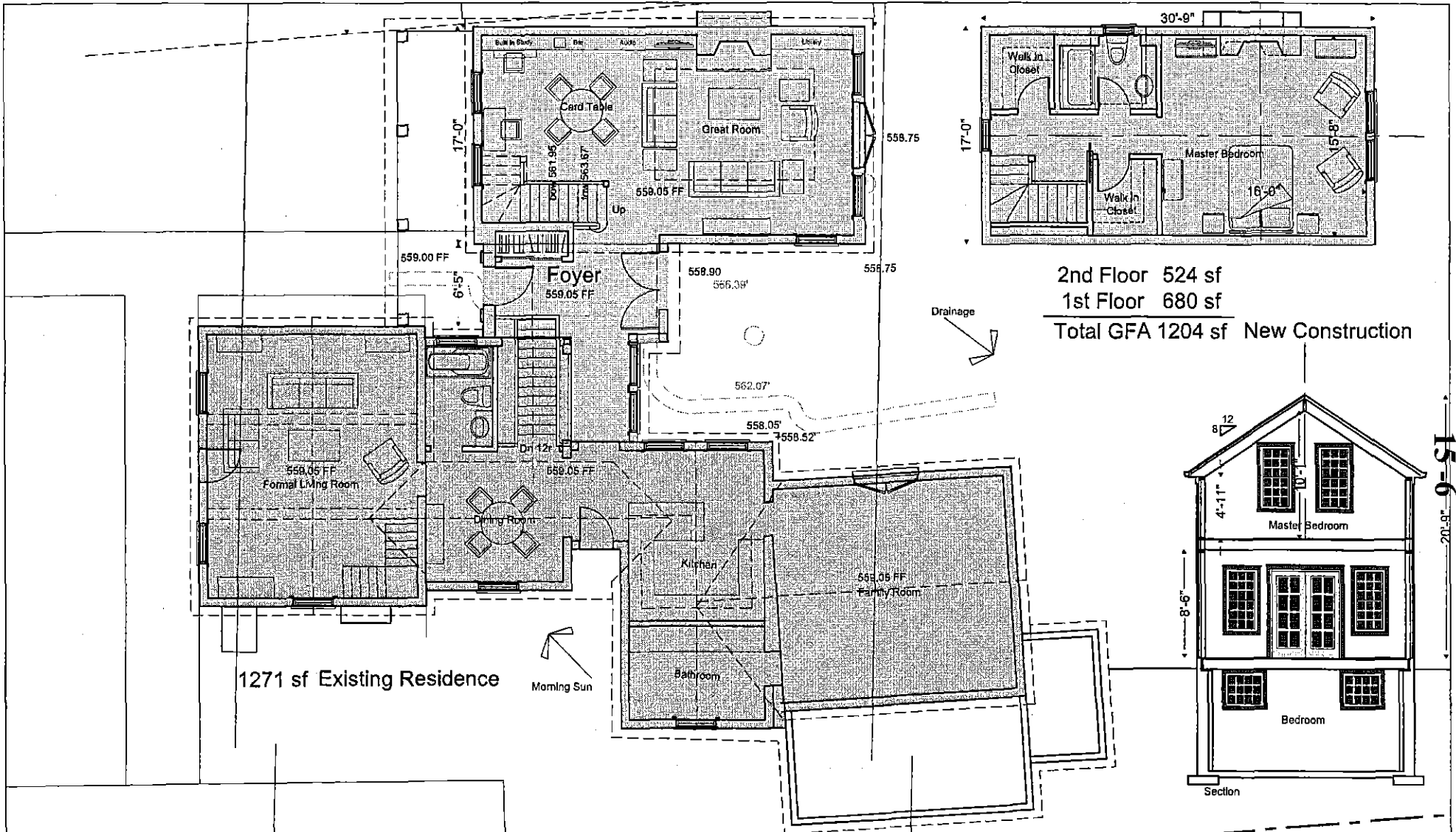


MEMBER, ASSOCIATION OF PROFESSIONAL ENGINEERS OF ONTARIO

The Moir Residence  
 7015 Pond Street  
 Meadowvale Village, Mississauga, Ontario

Basement Plan

April 2, 2012

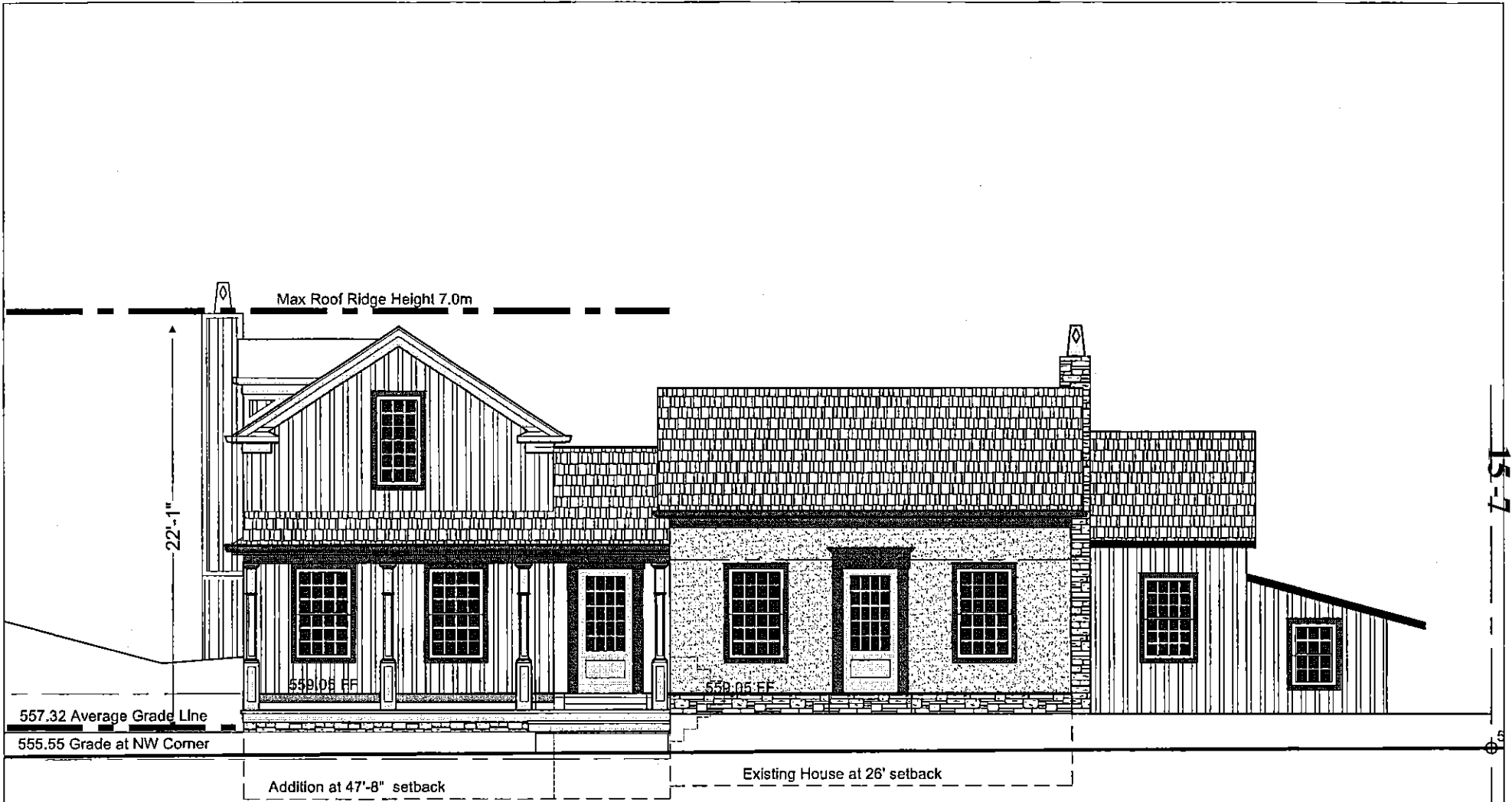


**MSA**

MEASUREMENTS ARE IN METERS  
UNLESS OTHERWISE SPECIFIED  
AND ARE APPROXIMATE. THE CLIENT  
IS RESPONSIBLE FOR VERIFYING ALL  
DIMENSIONS AND AREAS.

The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

Floor Plans  
April 2, 2012



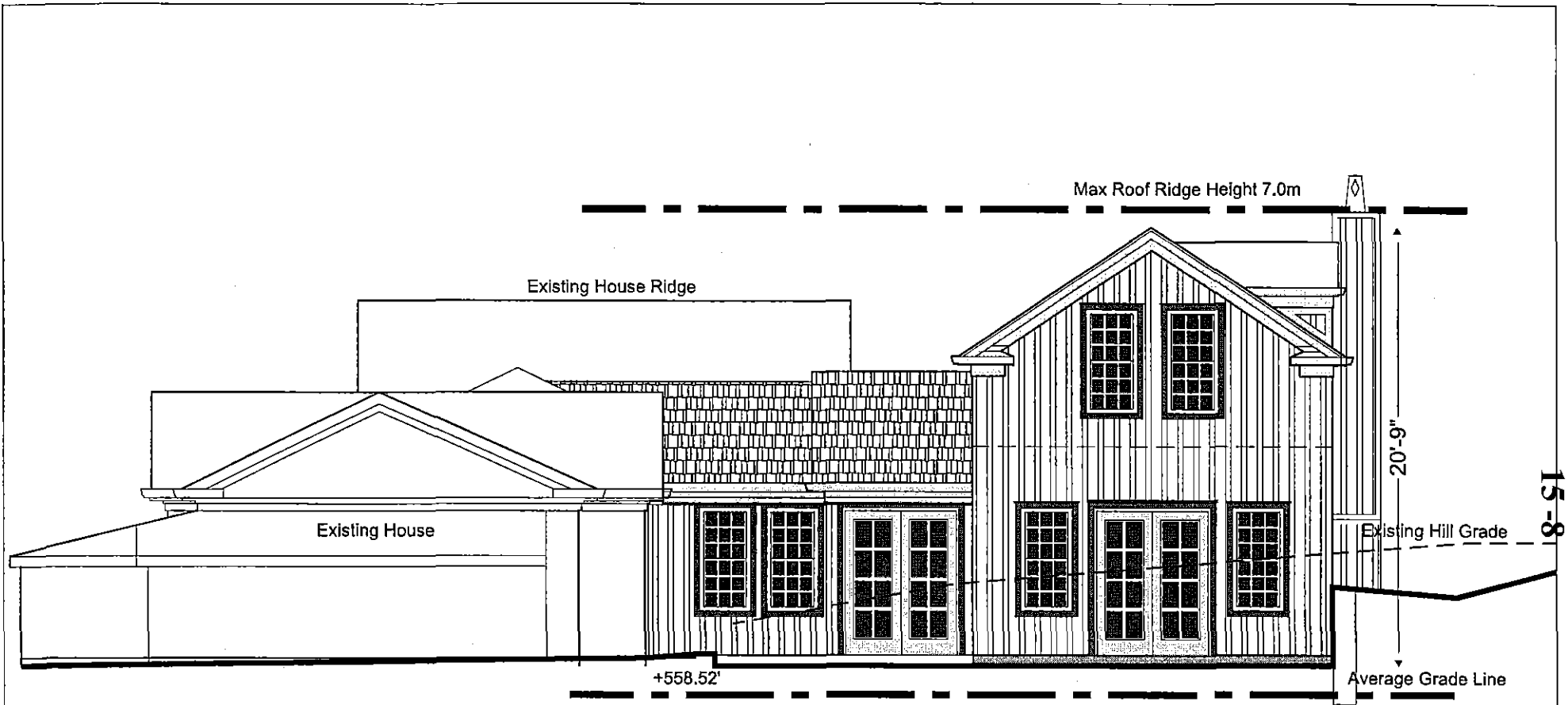
**MSA**

MICHAEL, MCKENZIE ARCHITECTS INC.  
ARCHITECTS  
1000 SHEPPARD AVENUE EAST, SUITE 100  
MISSISSAUGA, ONTARIO L4X 1L3

The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

Front Elevation

April 2, 2012

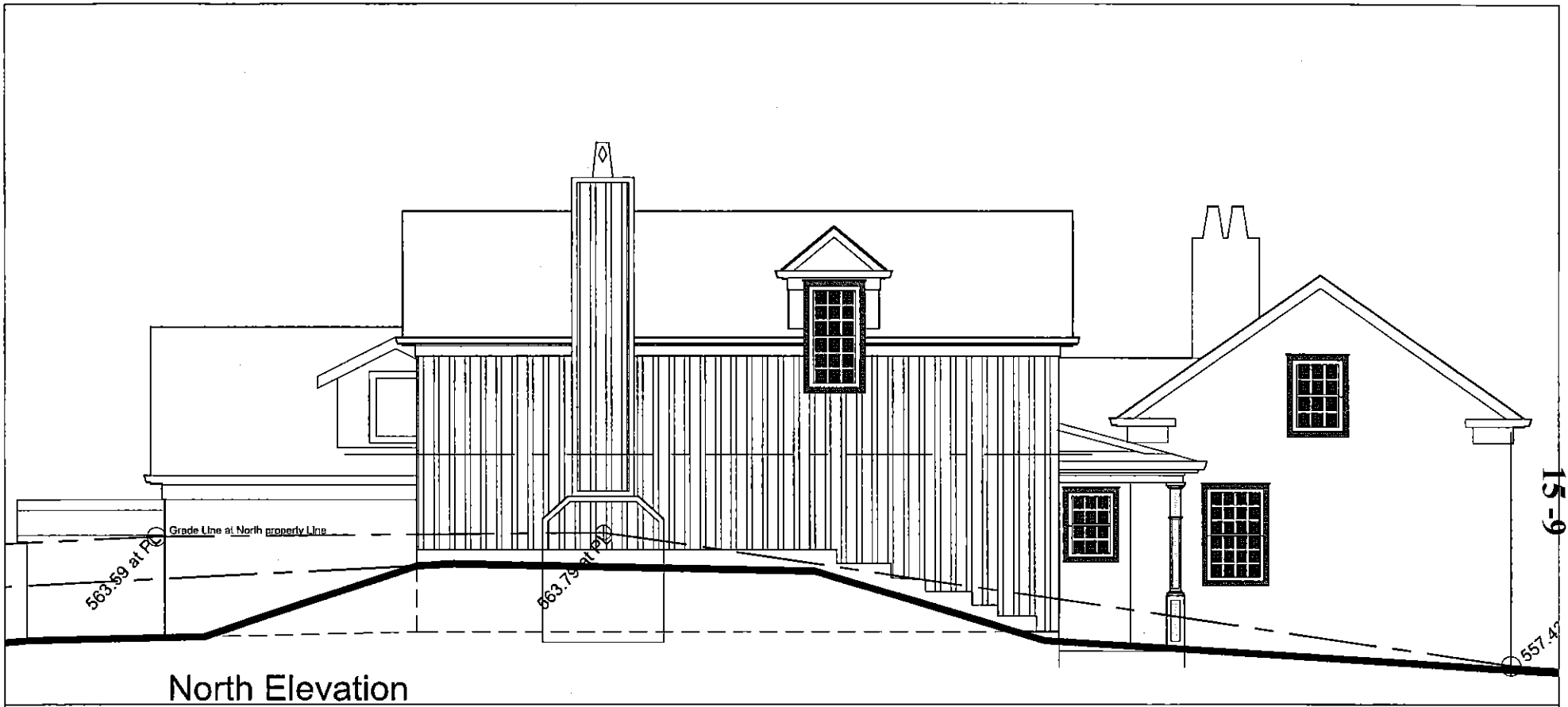


**MSA**

MICHAEL S. ANTONIO ARCHITECTURE INC.  
 600 WEST HURON ST. SUITE 200  
 TORONTO, ONTARIO M5V 1A5  
 TEL: 416-928-4444 FAX: 416-928-4444  
 WWW.MSAARCHITECTURE.COM

The Moir Residence  
 7015 Pond Street  
 Meadowvale Village, Mississauga, Ontario

Rear Elevation  
 April 2, 2012



North Elevation



The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

North Elevation  
April 2, 2012



New Roof Beyond

15'-10"

Existing House

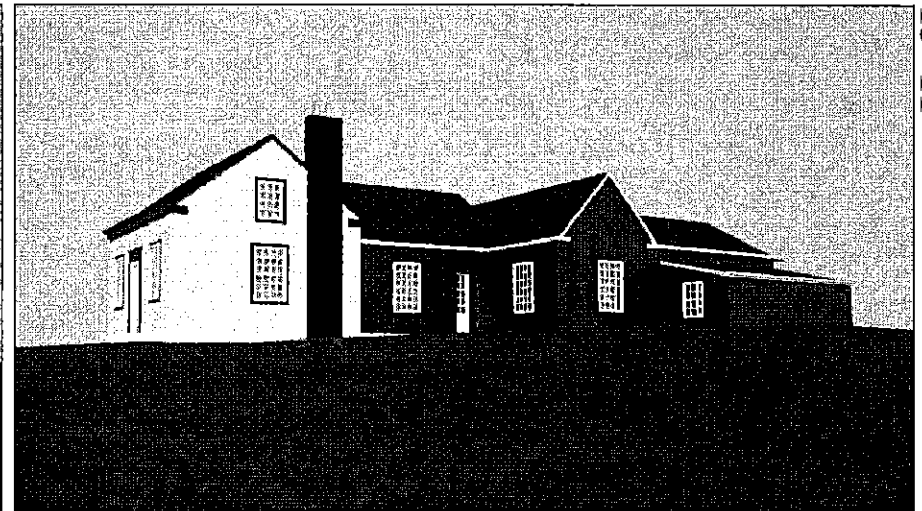
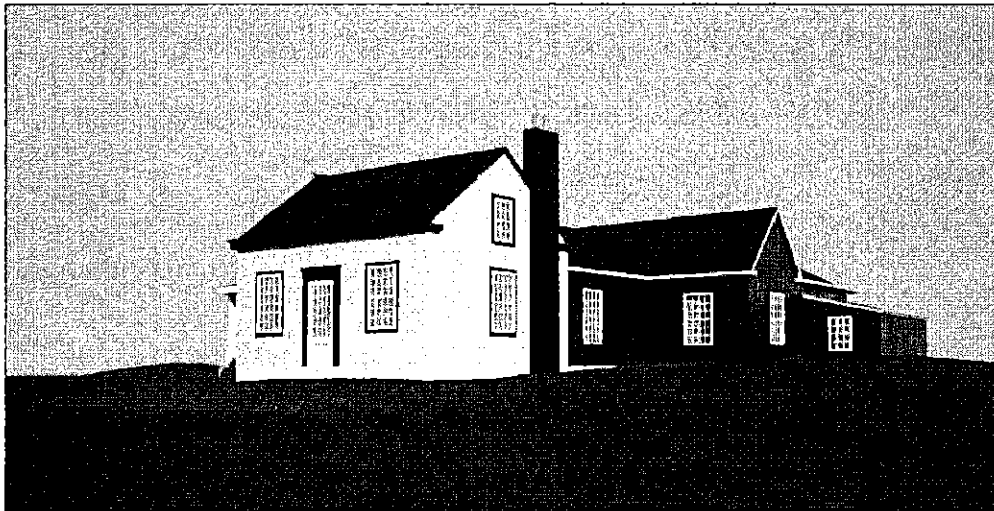
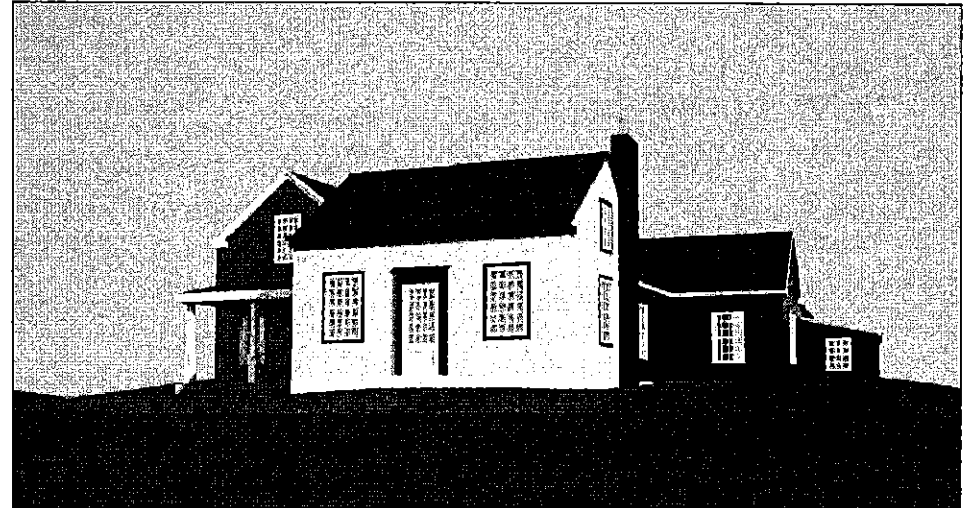
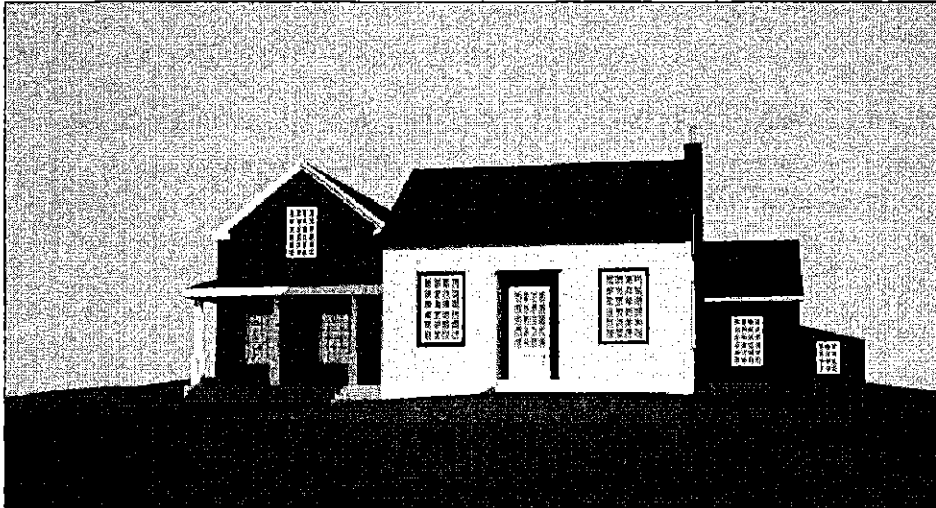
South Elevation

**MSA**

MEMPHIS, TENNESSEE ARCHITECTURAL SERVICES INC.  
1000 W. WASHINGTON AVE. SUITE 200  
MEMPHIS, TN 38103  
TEL: 901.525.1234  
WWW.MSA-ARCHITECTS.COM

The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

South Elevation  
April 2, 2012



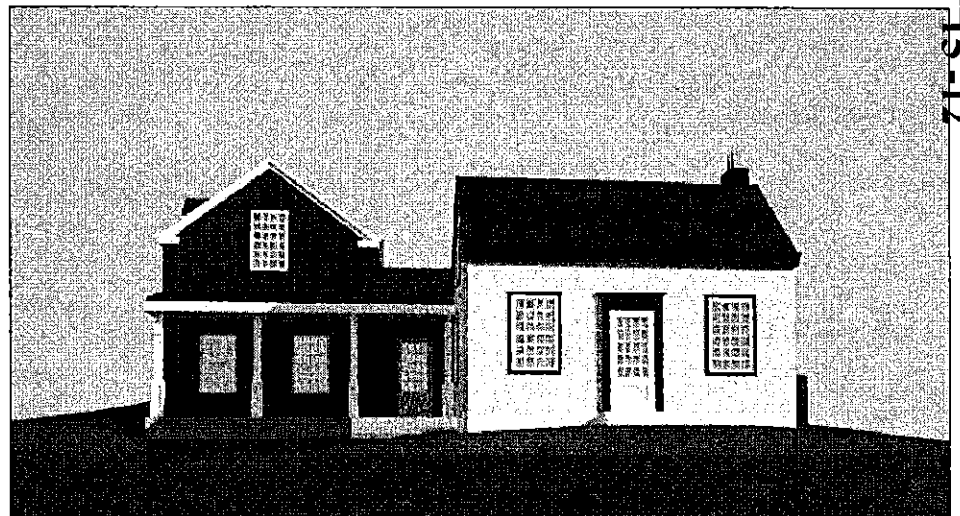
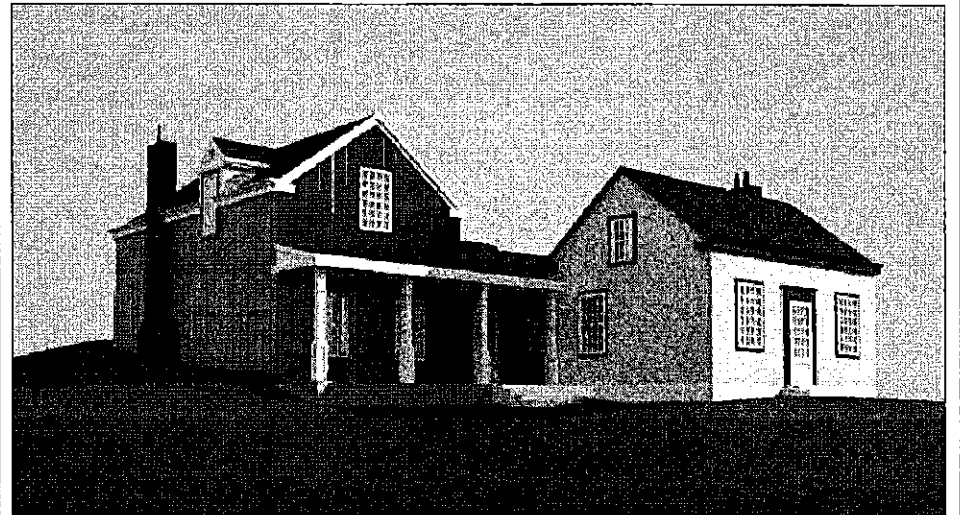
15-11

**MSA**

MISSISSAUGA SERVICE AREA INC.  
2000 SHEPPARD AVENUE EAST, SUITE 100  
MISSISSAUGA, ONTARIO L4X 1L3  
TEL: (905) 276-1111

The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

Views from Southwest  
May 4, 2012



15-12

**MSA**

MARKET, WEATHER AND DESIGN INC.  
1000 SHEPPARD AVENUE EAST, SUITE 100  
MISSISSAUGA, ONTARIO L4X 1L3  
TEL: (905) 270-8888

The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

Views from Northwest  
May 4, 2012



MAY 22 2012

## NOTICE OF STUDY COMMENCEMENT

### Queen Elizabeth Way Class Environmental Assessment Study From Evans Avenue to Cawthra Road

#### THE STUDY

The Ontario **Ministry of Transportation** has initiated a Preliminary Design and Class Environmental Assessment Study to examine rehabilitation and improvement needs for the Queen Elizabeth Way (QEW) from Evans Avenue to Cawthra Road. The study limits extend approximately 3.5 km through the City of Mississauga (Region of Peel) and the City of Toronto.

The Queen Elizabeth Way (QEW) is Ontario's first intercity divided highway, dating back to the 1930s, and the study area is within one of the oldest sections of the QEW. The study will identify rehabilitation, safety and operational needs, develop and evaluate alternatives, and recommend transportation improvements within the study limits. Potential improvements may include:

- Rehabilitation / replacement of bridges;
- Interchange improvements; and
- QEW safety and operational improvements.

#### THE PROCESS

This study will follow the approved environmental planning process for Group "B" projects under the *Class Environmental Assessment for Provincial Transportation Facilities* (2000), with the opportunity for public input throughout the study. Upon completion of the study, a Transportation Environmental Study Report (TESR) will be completed and made available for a 30 day public review period. The TESR public review period will be announced in this newspaper.

#### PUBLIC CONSULTATION

Three Public Information Centres (PICs) will be held throughout the planning process to allow the public an opportunity to review and comment on project details. Notices advising the time and location of each PIC will be announced in local and regional newspapers and posted on the project website: [www.qewdixieea.ca](http://www.qewdixieea.ca).

Three Community Workshops will be held to assist the Project Team by providing information and input relative to community interests and study issues. If you are interested in the study and would like to attend the workshops, please contact the Project Team via the contact information outlined below.

#### COMMENTS

Comments and information regarding this study will be collected to assist the Project Team. This material will be maintained on file for use during the study and may be included in study documentation. Comment forms and study information are available on the study website. Information collected will be used in accordance with the *Freedom of Information and Protection of Privacy Act* and the *Access to Information Act*. With the exception of personal information, all comments will become part of the public record. For further information, or to be added to the mailing list, please visit the study website or contact:

**Olga Garces, P. Eng., Project Manager**  
Ontario Ministry of Transportation  
1201 Wilson Ave, Building D, 4<sup>th</sup> Floor  
Downsview, ON M3M 1J8  
Phone: (416) 235-4952  
Fax: (416) 235-3576  
e-mail: [project-team@qewdixieea.ca](mailto:project-team@qewdixieea.ca)

**Michael Chiu, P. Eng., Consultant Project Manager**  
McCormick Rankin, a member of MMM Group Limited  
2655 North Sheridan Way  
Mississauga, ON L5K 2P8  
Phone: (905) 823-8500  
Fax: (905) 823-8503  
e-mail: [project-team@qewdixieea.ca](mailto:project-team@qewdixieea.ca)

Please visit our website at: [www.qewdixieea.ca](http://www.qewdixieea.ca)

If you have any accessibility requirements in order to participate in this project please contact one of the Project Team members listed above.

Des renseignements sont disponibles en français en composant (905) 823-8500 Poste 1471 (Yannick Garnier).



Ministry of Citizenship  
and Immigration

Minister  
6<sup>th</sup> Floor  
400 University Avenue  
Toronto ON M7A 2R9  
Tel.: (416) 325-6200  
Fax: (416) 325-6195

18 -1

Ministère des Affaires civiques  
et de l'Immigration

Ministre  
6<sup>e</sup> étage  
400, avenue University  
Toronto ON M7A 2R9  
Tél.: (416) 325-6200  
Télééc.: (416) 325-6195



May, 2012

**Re : Ontario Medal For Good Citizenship**

Dear Friends:

I am pleased to let you know that nominations for the Ontario Medal for Good Citizenship are now being accepted.

Established in 1973, the Ontario Medal for Good Citizenship honours Ontarians who, through exceptional, long-term efforts, have made outstanding contributions to community life.

I am pleased to invite you to participate by nominating a deserving citizen. Recipients will be presented with their medal by the Lieutenant Governor of Ontario at a special ceremony at Queen's Park in the Fall of 2012.

Nomination forms are now available on-line by visiting the Ministry of Citizenship and Immigration's website at: [www.ontario.ca/honoursandawards](http://www.ontario.ca/honoursandawards). You may submit your nomination on-line by choosing the "Nominate Online" option, or download the PDF or HTML format from the website. For any further information, please contact the Ontario Honours and Awards Secretariat at 416 314-7526, 1 877 832-8622 or (TTY) 416 327-2391. Nominations must be received by July 17, 2012.

I encourage you to take the time to nominate a deserving citizen in your community for an Ontario Medal for Good Citizenship. The men and women we honour stand as shining examples to us all.

Sincerely,

A handwritten signature in black ink, appearing to read 'Charles Sousa', is written over a large, faint circular stamp or watermark.

Charles Sousa  
Minister

Heritage Advisory Committee  
MAY 22 2012

## DESIGN REPORT

February 27, 2012

# HVAC Replacement & Roofing Project The Anchorage, Bradley Museum 1620 Orr Road, Mississauga, Ontario



*The Anchorage*

***Prepared for the Corporation of the City of Mississauga***

## **TABLE OF CONTENTS**

### **1.0 INTRODUCTION**

- 1.1 Project Team
- 1.2 A Brief Description of the Building

### **2.0 GENERAL OBSERVATIONS AND DESIGN ASSUMPTIONS**

- 2.1 Roof
- 2.2 Floor
- 2.3 Heating, Ventilation & Air Conditioning (HVAC)

### **3.0 BUDGET ESTIMATES**

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## 1.0 INTRODUCTION

The Ventin Group (Toronto) Ltd. Architects (+VG) was retained by the City of Mississauga in January 2012 to provide professional architectural and engineering services for the design of:

- a new mechanical HVAC system,
- replacement of existing cedar shingle roofing and associated flashings and dormer siding
- and flooring improvements

for The Anchorage, located at the Bradley Museum site at 1620 Orr Road in Mississauga.

### 1.1 PROJECT TEAM

Prime Architectural Consultant: The Ventin Group Architect's Ltd

- Project Architect: Chris Hall
- Project Co-ordinator: Natasha Ervin

Mechanical Engineering Consultant: Jain & Associates Ltd.

- Mechanical Engineer: Dinesh Jain



### 1.2 A BRIEF DESCRIPTION OF THE BUILDING

This Regency style cottage was originally built in the 1820s near Southdown and Lakeshore Roads. It was named "The Anchorage" by its second inhabitant, Retired British Navy Commander John Skynner (1762 -1846) who settled at Merigold's Point in 1838. The building is thought to be built by James W. Taylor and was originally located on land that was granted to the Jarvis family. It was used by several residents after Skynner and used by the office of National Sewer Pipe Company. The National Sewer Pipe Company donated the

house to the City of Mississauga and in June 1978 the building was moved to the Bradley site. After several years of fundraising and restoration the building was opened to public in 1991 and is used as a visitor centre for the Bradley Museum site.

Description: *(excerpted from the City of Mississauga, Property & Tax Database)*

This one and a half storey structure is basically rectangular in plan with a small enclosed porch to the rear and an accretion to the west side. A full basement underlies the first floor. The medium pitched hipped roof has large eaves, underneath which, the rafters show. There are two internally bracketed brick chimneys on either side of the house. The foundation was constructed when the building was moved to this location. The building is sheathed in clapboard. There are two segmental windows on either side of the front door. A twelve over twelve pane, double hung window appears on the western addition, but most other windows have only eighteen panes in total. Hipped gable dormers in pairs appear on all four sides of the roof, these were a later addition. The building underwent extensive rehabilitation in 1993, reclaiming most of the original features of the structure. The building was retrofitted in 1993 and became the visitor centre for the Bradley Museum.

Designation Statement:

Architecturally, The Anchorage is a particularly fine example of an Ontario Regency style house with its one-and-a-half storey height, five-bay facade, square plan and hipped roof with broad projecting eaves. It has a fine Neo-classical doorcase with sidelights and engaged pilasters. Interior features of importance include the room layout on the ground floor, the mid-19th century centre arch in the hall and staircase to the second floor, an original mantelpiece and original base boards and trim.

Historically, the house, a prominent local landmark, was built in the 1830s by James. W. Taylor, but given the name "The Anchorage" by its next owner John Skynner, a retired Commander of the Royal Navy.



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## 2.0 GENERAL OBSERVATIONS AND DESIGN ASSUMPTIONS

### 2.1 ROOF

#### 2.1.1 Cedar Shingle Roof

The cedar shingle roof is in poor condition on the south side due to damp conditions and associated biological growth. Replacement of the cedar shingle roof is part of the project scope. The introduction of ventilation battens is required to improve the roof's ability to dry. Trees along the south side of the building should be cut back substantially to improve the roof's exposure to sunlight and the associated benefits to drying of the roof.



A continuous waterproofing membrane will be applied to the existing plywood roof sheathing prior to batten and shingle installation providing immediate water protection. It is expected that some of the sheathing will need to be replaced. An assumption of 10% replacement will be specified.

### 2.1.2 Flashings & Eavestroughs

Existing painted galvanized eavestrough appears in generally sound condition. Metal should be stripped of all paint, cleaned and repainted. Some wholesale replacement is required along the south side of the roof where replacement aluminum trough had been used and is fully corroded. Replacement trough should match the existing in size, gauge and profile.

It should be noted that leaves and debris have not been cleaned out of the eavestrough which will adversely affect performance and longevity of the trough.

Roof flashings will be copper and proper cant separation is required to avoid water being trapped between the cedar and the copper that can lead to corrosion of copper due to high acid content in the cedar.

### 2.1.3 Dormers

Roof dormers are in poor condition with noticeable deterioration of the siding material in a number of locations. Wholesale replacement of the siding at the dormers will be specified as part of the roof replacement scope.

As part of the dormer rebuild, opportunities for additional insulation within the sidewalls will be reviewed.



Eavestrough Corrosion



Dormer Siding condition



Typical Dormer and biological staining

## 2.2 FLOOR

### 2.2.1 Wood Plank Flooring

The original pine wood flooring has been re-sanded numerous times. The floor planks have been sanded to a point where gaps are evident between the planks and the tongue of the plank is visible. These floors cannot be re-sanded. Localized replacement of planks has occurred and metal strips have been installed at locations where gaps were presenting a trip hazard. In general, the floor is at the end of its useful life.



The project scope does not anticipate wholesale replacement of the wood flooring. Areas exhibiting significant gaps or damage will be replaced in a similar manner to previous repairs/patches. The entire wood floor can be refinished by removal of existing polyurethane finish and reapplication of two coats of polyurethane. The refinishing will protect the wood but will not conceal or remove imperfections within the surface of the wood.

Maintenance staff has identified a concern with foot traffic in winter months through the main entry hall area. The current use of traffic mats appears to be ineffective and unable to handle the water brought in by 20-30 students on field trips to the site. This abuse is likely to deteriorate any refinished surface in this area in fairly short order. The use of more substantial rubber mats may alleviate the amount of abuse or alternatively installation of new sheet flooring over the existing plank floor is proposed for the entry hall to address the high-traffic concern.

Sheet Flooring Alternatives:

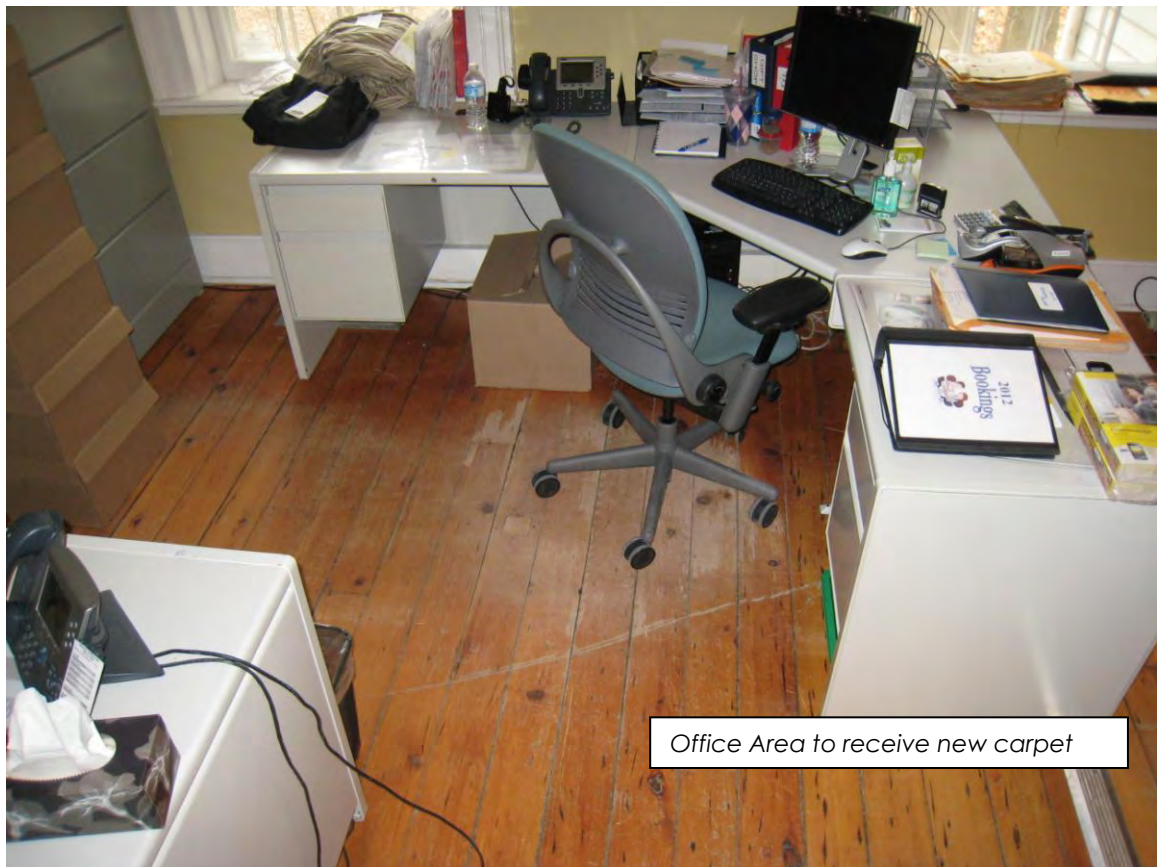
1. Linoleum with welded seams such as Forbo Marmoleum.

2. Vinyl sheet flooring with welded seams such as Altro Designer 25.
3. Rubber sheet flooring with welded seams such as Mondo Harmoni.

### 2.2.2 Carpet

The project scope includes for the provision of new carpet in the south east office area on the main floor. The irregularities of the wood floor deck in this area create problems for staff using chairs with castors. Provision of new 1/4" plywood underlayment and new carpet tile will be specified for this area. Some areas of localized shimming may be required to reduce the slope of the existing floor structure.

The project scope had indicated carpet replacement at the second floor area. Upon review of the building, we do not recommend replacement of this carpet at this time. The carpet appears to be in generally good condition. General carpet cleaning should be able to address the localized stains and this floor appears to have another 4 or 5 years of wear life.



## 2.3 HEATING, VENTILATION AND AIR CONDITIONING

The entire building will be heated and cooled using two new high-efficiency modulating gas-fired furnaces except for the Artifacts Storage Room.

One 4 ton cooling and 100 MBH heating capacity furnace will be specified serving the ground floor and a portion of the basement of the building and one 3 ton cooling and 60 MBH heating capacity furnace will serve the second floor of the Building. Furnaces will be located in the basement and condensing units will be located outside in the existing enclosure on the east side of the building. Condensing units will have two compressors each.

Fresh air to the furnaces will be provided by an ERV with 500 cfm capacity. The existing fresh air intake louvre will be used for exhaust and a new fresh air intake louvre will be provided in the east wall of the closet on the ground floor.

Combustion air and vent pipes for the furnaces will be located on the east wall at the "area well" and will extend up on the wall above the area well.

Motorized dampers will be provided on the ducts serving the ground floor office area and south side of the second floor to provide additional control of the zones at these levels.

A 2-ton Liebert type unit will be provided for the Artifacts Storage Room to maintain  $22^{\circ}\text{C} \pm 1^{\circ}\text{C}$  temperature and  $45\% \pm 5\%$  humidity in this room. The unit will be vertical and mounted on the floor of the room.

New gas service will be provided to this building. The location of the gas meter is being discussed with Enbridge. The new gas line and associated meter will be installed directly by Enbridge Gas.

It has been determined that the existing ductwork serving the 2<sup>nd</sup> floor is undersized to meet contemporary ventilation requirements. This ductwork needs to be replaced or supplemented. Access to the existing ductwork will require cutting large openings in the knee walls of the 2<sup>nd</sup> floor to provide physical access to the perimeter roof space. Given the 'finished nature' of this space and the budget limitations, it is proposed to supplement the existing ductwork with new ductwork introduced within the main roof attic above the ceiling of the 2<sup>nd</sup> floor. This approach minimizes 'cut and patch' activities in the 2<sup>nd</sup> floor finished spaces.

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### 3.0 BUDGET ESTIMATES

This section of the report contains the budget estimates.

Budget estimates are prepared for order of magnitude purposes, that is, to assist with planning. Items are estimated individually and without the benefit of a complete bill of quantities. Estimates do not include any consulting fees for the work nor any value-added tax including H.S.T.

It is understood that implementation of the work will be carried out in summer and fall of 2012.

#### Budget estimate for full scope of recommended work:

<b>3.1</b>	<b>ROOF</b>	<b>\$80,500</b>
.1	Remove existing cedar shingle roof (approx. 3,000 sq.ft.) Replace deteriorated sheathing (assume 10%) Install new waterproof membrane Install batten system for ventilation Install new western red cedar shingles incl. copper flashings	\$45,000
.2	Remove existing wood siding from dormers Install insulation and sheathing at dormers Install new pre-finished bevel siding at dormers	\$28,000
.3	Strip galvanized metal eavestrough and rain water leaders Replace existing aluminum eavestrough with new galvanized Paint all galvanized metal eavestrough and rain water leaders	\$7,500
<b>3.2</b>	<b>FLOORING</b>	<b>\$9,500</b>
<b>3.2.1 Wood Plank Flooring</b>		
.1	Localized repairs at trip hazard locations.	\$2,000
.2	Refinish existing wood floors throughout ground floor	\$2,500
.3	New sheet flooring in entry hallway in lieu of refinishing	\$3,000
<b>3.2.2 New Carpet in South East Office Area</b>		
.1	Install new ¼" ply underlayment	
.2	Shim floor as required	
.3	Supply and install new carpet tile	\$2,000
<b>3.3</b>	<b>HVAC</b>	<b>\$53,500</b>
1.	Remove existing head end equipment	\$2,500
2.	Supply and install two gas-fired high-efficiency furnaces and air-cooled condensing units.	\$17,000
3.	Supply and install 2-ton Liebert Unit serving artifact storage room.	\$12,000



4.	Modify existing ductwork as required.		\$10,000
5.	ERV and ductwork including new Intake louvre		\$10,000
6.	Gas Piping ( <i>by Enbridge</i> )		\$0
7.	Allowance for cutting & patching for access		\$2,000
	<i>Subtotal</i>		\$143,500
	<i>General Conditions, Overhead &amp; Profit (20%)</i>		\$28,700
		<i>Subtotal</i>	\$172,200
	<i>Contingency (10%)</i>		\$17,220
		<b>Total</b>	<b>\$189,420</b>

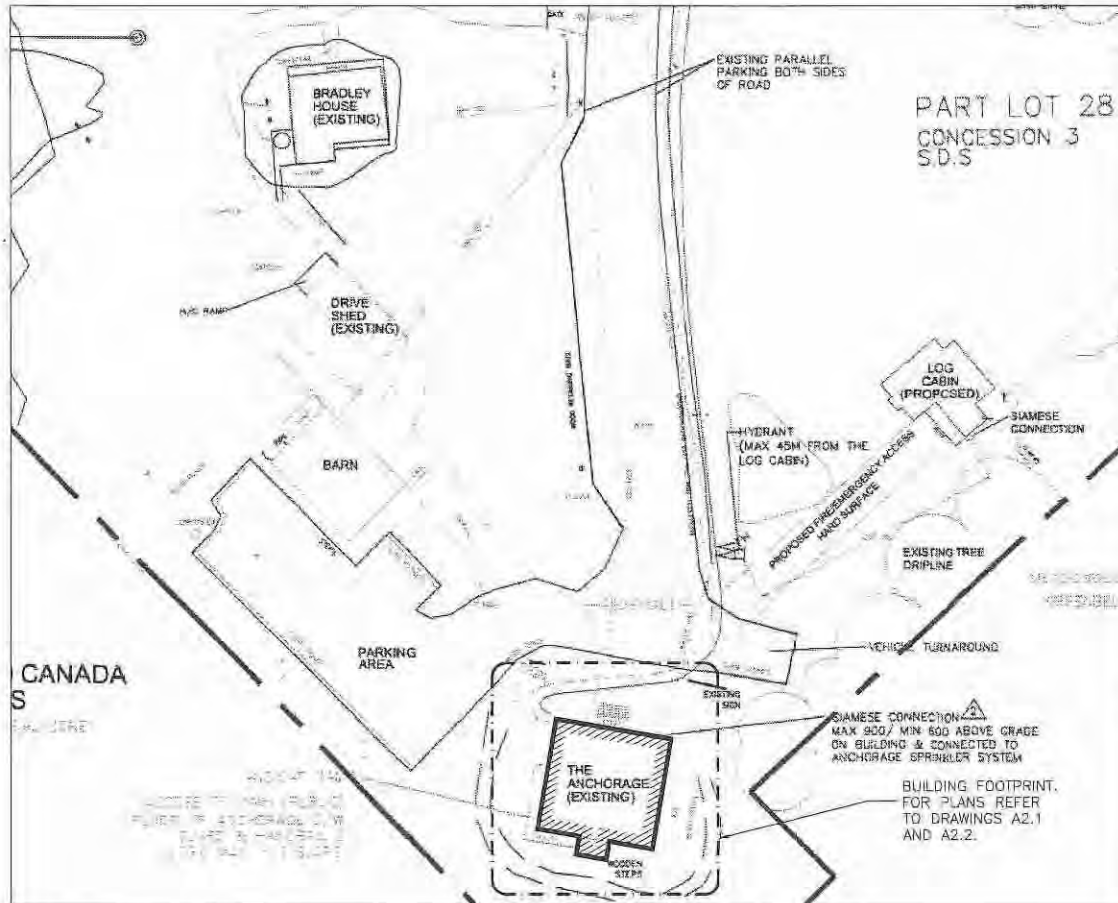


# BRADLEY ANCHORAGE UPGRADES

## MECHANICAL UPGRADES AND ROOF REPAIRS



02 IMAGE  
A0.0



01 SITE PLAN  
A0.0

### PART II MATRIX Ontario Building Code Data Matrix - Part 11 Renovation of Existing Building

Firm Name:  
The Ventin Group Ltd. Architects  
72 Stafford Street, Suite 200, Toronto, Ontario  
M6J 2R9  
T: 416-588-6370  
F: 416-588-6327

Certificate of Practice Number:  
3356

Name of Project:  
BRADLEY ANCHORAGE UPGRADES

Location:  
1620 Orr Road, Mississauga, Ontario L5J 4T2



The Architect noted above has exercised responsible control with respect to design activities. The Architect's seal number is the architect's BCN.

PROJECT DESCRIPTION:		O.B.C. REFERENCE
SCOPE OF WORK DESCRIPTION: REPLACEMENT OF EXISTING CEDAR ROOF, REPAIRS TO ROOF DORMERS, MINOR FLOORING WORK AND REPLACEMENT OF MECHANICAL HVAC SYSTEM WITH NEW GAS FIRED FURNACES AND ASSOCIATED EQUIPMENT.		PART 3
11.1 EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: GROUP A2 CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1
11.2 ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>	11.3.3.1
11.3 REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE-SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4 COMPENSATING CONSTRUCTION:	STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3
	CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3.4 11.4.3.5 11.4.3.6
11.5 COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBER(S))	11.5.1

03 OBC MATRIX  
A0.0

**CLIENT**  
CITY OF MISSISSAUGA  
CORPORATE SERVICES DEPARTMENT  
Facilities, Property and Management

**ARCHITECT**  
+VG ARCHITECTS  
THE VENTIN GROUP LTD  
72 Stafford Street, Suite 200  
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**MECHANICAL ENGINEER**  
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Mississauga, Ontario L5N 6H7  
T: 905.542.7211  
F: 905.542.7622  
E: mail@jainassoc.com

#### DRAWING LIST

ARCHITECTURAL	
A0.0	COVER PAGE
A2.1	PLANS - BASEMENT/FIRST LEVEL
A2.2	PLANS - SECOND LEVEL/ROOF
A3.1	ELEVATIONS
A4.0	TYPICAL DETAILS - EAVE/RIDGE/VALLEY
A4.1	ABUTMENT DETAILS - TYPICAL REGLET
A4.2	DORMER DETAILS
MECHANICAL	
M2.1	BASEMENT PLAN - DEMOLITION AND RENOVATION HVAC LAYOUT
M2.2	MAIN FLOOR PLAN - DEMOLITION AND RENOVATION HVAC LAYOUT
M2.3	UPPER FLOOR PLAN - DEMOLITION AND RENOVATION HVAC LAYOUT
M2.4	DETAILS
M2.5	EQUIPMENT SCHEDULES
ELECTRICAL	
E1.0	BASEMENT PLAN AND ELECTRICAL SCHEDULES

Revisions

No.	Date	Particulars
01	12/04/05	Issued for building permit
02	12/04/05	Issued for Heritage permit
03	12/04/16	Issued for Tender
04	12/04/23	Issued for client review
05	12/05/01	Issued for Tender

Item 2, Appendix 2  
Heritage Advisory Committee  
Agenda - May 22, 2012



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All dimensions and measurements must be checked and verified by the General Contractor.  
The General Contractor must report all discrepancies and errors or omissions to the architect in writing prior to proceeding with the work.  
Do not scale drawings.  
Key to detail locations:  
A - Detail No.  
B - Detail No. where detailed



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Affiliated Offices:  
Bramford - Buenos Aires

Client:  
City of Mississauga  
Corporate Services Department  
300 City Centre Drive  
Mississauga, ON  
L5B 3C1

Project:  
Bradley Anchorage  
Upgrades

Location:  
1620 Orr Road  
Mississauga, ON  
L5J 4T2

Project number:  
21201

Plot date: MAY 1, 2012  
Scale as noted or: As noted  
Cad file: 21201-Plans/Elevs.dwg  
Drawn by: CHAIKEY  
Checked by: GH

Drawing title:  
COVER PAGE

A0.0  
TENDER

NOTES:

- 01 EXISTING SIDING TO REMAIN
- 02 LINE OF WALL BELOW
- 03 EXISTING VENT STACK. REFER TO DETAIL 06/A4.2
- 04 EXISTING STONE FOUNDATION WALLS
- 05 NEW CEDAR SHINGLES
- 06 REFINISH EXISTING WOOD FLOORING
- 07 EXISTING GRILLS TO REMAIN. REFER TO MECHANICAL DRAWINGS.
- 08 NEW SA DUCT. REFER TO MECHANICAL DRAWINGS. INSTALL DUCT AS CLOSE TO WALL AS POSSIBLE.
- 09 RESERVED
- 10 ROOF OVERHANG ABOVE
- 11 NEW CARPET TILE FLOORING. EVEN OUT FLOOR SURFACE AND PREPARE FOR CARPET INSTALLATION. REFER TO DETAIL 08/A4.2
- 12 NEW SHEET FLOORING
- 13 EXISTING HANDICAP RAMP

- 14 NEW CEILING DIFFUSER. REFER TO MECHANICAL DRAWINGS. CUT EXISTING CEILING TO INSTALL DIFFUSERS. PATCH AND MAKE GOOD UPON COMPLETION
- 15 EXISTING GUTTER. REMOVE AND RESTORE EXISTING GUTTER IN SHOP. STRIP AND CLEAN PAINT FROM SHEET METAL SURFACES. REPAIR DETERIORATED SECTIONS AS REQUIRED. PREPARE, REPAINT AND REINSTALL
- 16 NEW PAINTED GALVANIZED STEEL RAIN WATER LEADER TO MATCH ORIGINAL
- 17 NEW PAINTED GALVANIZED STEEL GUTTER TO MATCH ORIGINAL. REFER TO ROOF PLAN 02/A2.2 FOR EXTENT OF REPLACEMENT
- 18 EXISTING BRICK CHIMNEY.

- 19 NEW ROOF VENT
- 20 NEW WOOD SIDING
- 21 NEW RIDGE VENT. REFER TO DETAIL 05/A4.1
- 22 COMBUSTION AIR AND VENT. REFER TO MECHANICAL DRAWINGS
- 23 PROVIDE PENETRATION THROUGH WALL FOR DUCT. PROVIDE NEW FRESH AIR INTAKE LOUVRE C/W INSECT SCREEN. SEAL PERIMETER AT EXTERIOR. MAKE GOOD ALL FINISHES. REFER TO MECHANICAL DRAWINGS. COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION

- 24 CLEAN EXTERIOR SURFACE OF WOOD TRIMS, WINDOW SASH AND FRAMES. REPAINT.
- 25 ACCESS HATCH TO ATTIC SPACE
- 26 EXISTING RAIN WATER LEADER TO REMAIN
- 27 NEW SA DUCT TO BASEMENT. PATCH AND MAKE GOOD FLOOR TO MATCH EXISTING.
- 28 EXISTING DUCTS TO REMAIN AND BE REUTILIZED BY MECHANICAL SERVICES. REFER TO MECHANICAL.
- 29 GAS LINE. REFER TO MECHANICAL. MAKE GOOD FINISHES.

LEGEND - EXTENT OF FLOOR FINISHES	
CT	NEW CARPET TILE
SF	NEW SHEET FLOORING
EX SF	EXISTING SHEET FLOORING
EX WD	EXISTING WOOD FLOORING
EX	EXISTING FLOOR FINISH

GENERAL NOTE:  
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05	12/05/01	Issued for Tender



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Client:  
City of Mississauga  
Corporate Services Department  
300 City Centre Drive  
Mississauga, ON  
L5B 3C1

Project:  
Bradley Anchorage  
Upgrades

Location:  
1620 Orr Road  
Mississauga, ON  
L5J 4T2

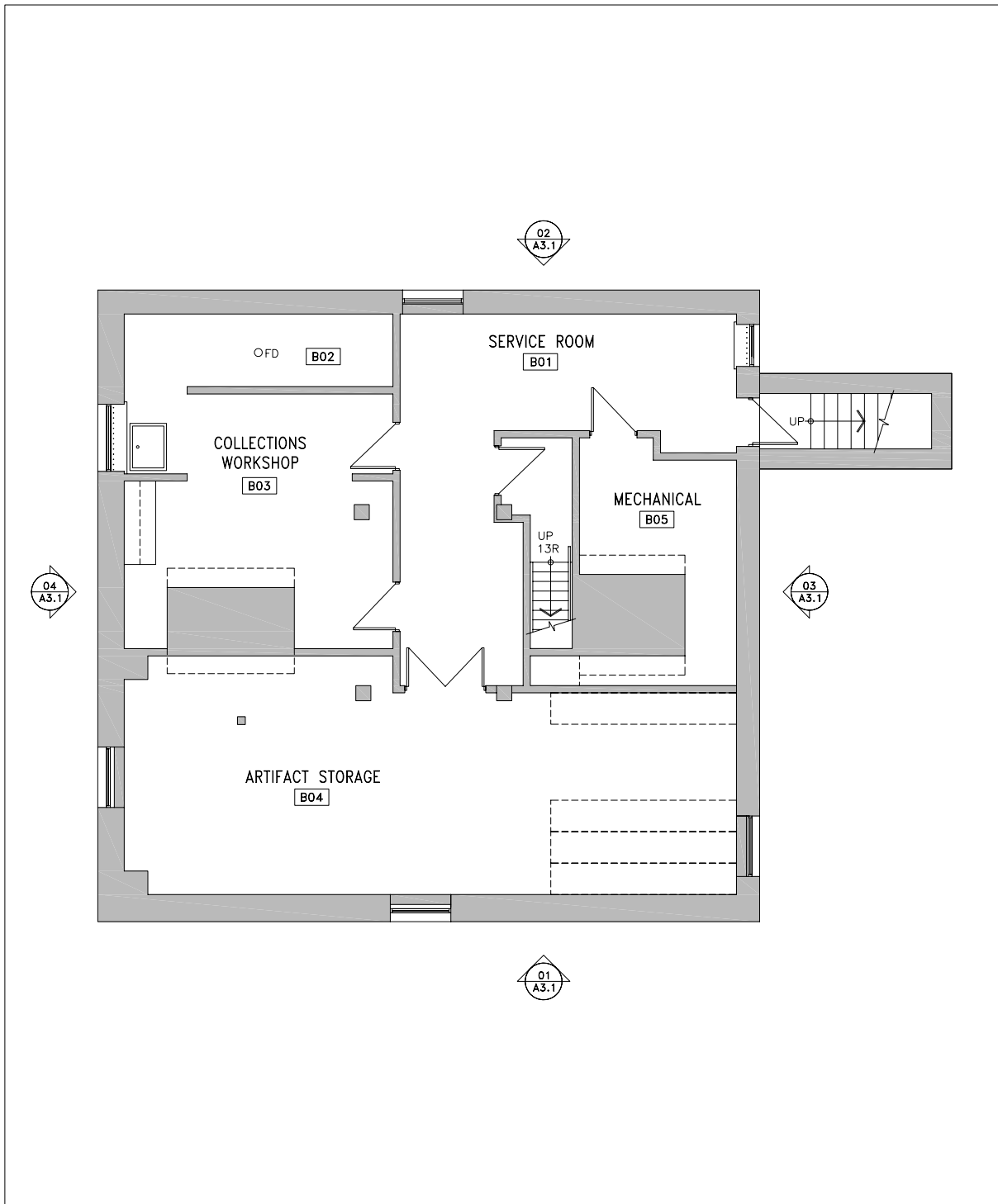
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Plot date: MAY 1, 2012  
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Drawn by: DHI/AEY  
Checked by: CH

Drawing title:

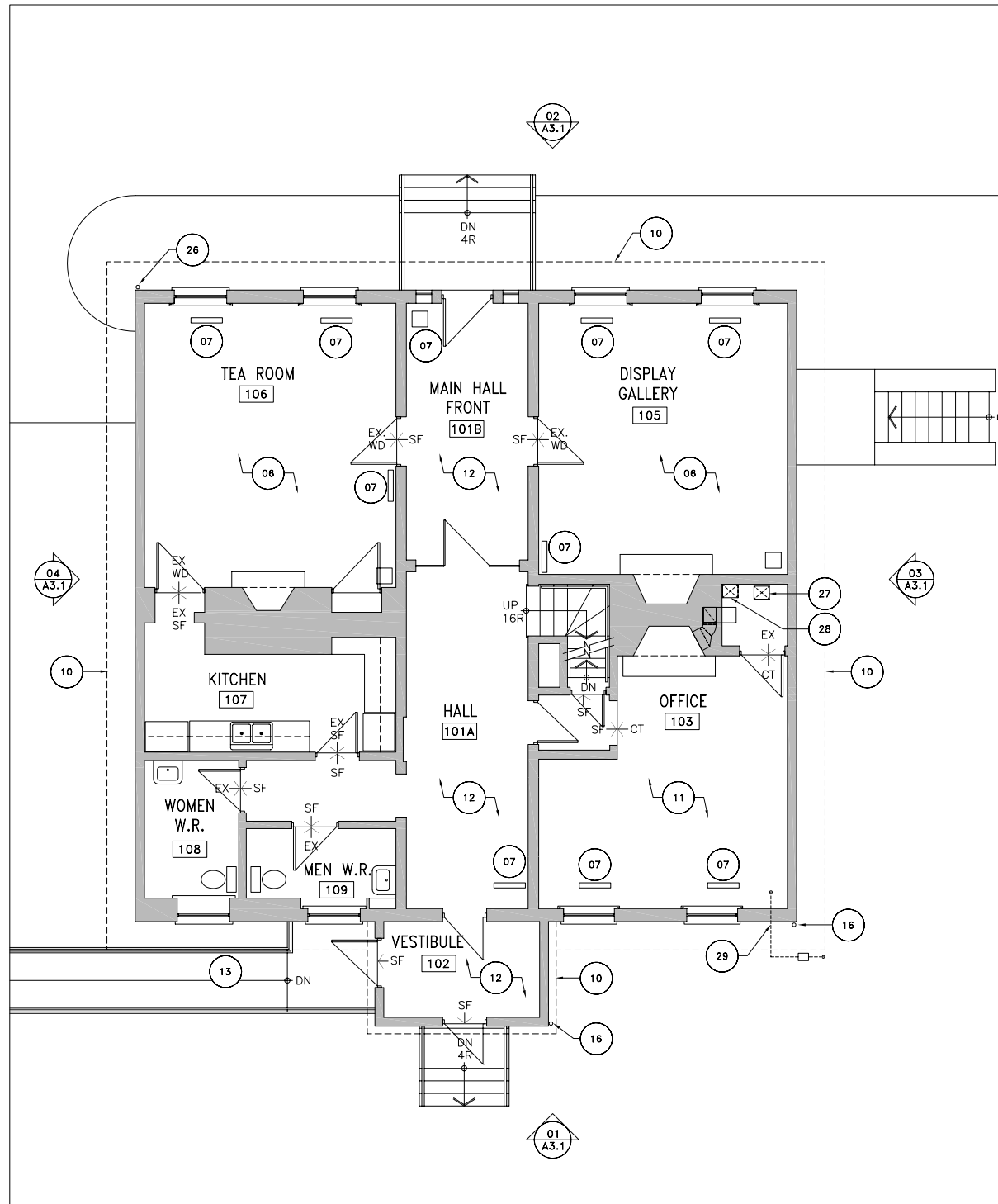
**PLANS  
BASEMENT AND  
FIRST LEVEL**

**A2.1  
TENDER**

03 NOTES  
A2.1



01 PLAN - BASEMENT LEVEL  
A2.1 SCALE: 1:75



02 PLAN - FIRST LEVEL  
A2.1 SCALE: 1:75

NOTES:

- |   |  |   |  |  |
|---|--|---|--|--|
| 01 EXISTING SIDING TO REMAIN                                | 08 NEW SA DUCT. REFER TO MECHANICAL DRAWINGS. INSTALL DUCT AS CLOSE TO WALL AS POSSIBLE.                         | 14 NEW CEILING DIFFUSER. REFER TO MECHANICAL DRAWINGS. CUT EXISTING CEILING TO INSTALL DIFFUSERS. PATCH AND MAKE GOOD UPON COMPLETION   | 19 NEW ROOF VENT   | 24 CLEAN EXTERIOR SURFACE OF WOOD TRIMS, WINDOW SASH AND FRAMES. REPAINT.                  |
| 02 LINE OF WALL BELOW                                       | 09 RESERVED  | 15 EXISTING GUTTER. REMOVE AND RESTORE EXISTING GUTTER IN SHOP. STRIP AND CLEAN PAINT FROM SHEET METAL SURFACES. REPAIR DETERIORATED SECTIONS AS REQUIRED. PREPARE, REPAINT AND REINSTALL | 20 NEW WOOD SIDING   | 25 ACCESS HATCH TO ATTIC SPACE   |
| 03 EXISTING VENT STACK. REFER TO DETAIL 06/A4.2             | 10 ROOF OVERHANG ABOVE   | 16 NEW PAINTED GALVANIZED STEEL RAIN WATER LEADER TO MATCH ORIGINAL   | 21 NEW RIDGE VENT. REFER TO DETAIL 05/A4.1   | 26 EXISTING RAIN WATER LEADER TO REMAIN  |
| 04 EXISTING STONE FOUNDATION WALLS                          | 11 NEW CARPET TILE FLOORING. EVEN OUT FLOOR SURFACE AND PREPARE FOR CARPET INSTALLATION. REFER TO DETAIL 08/A4.2 | 17 NEW PAINTED GALVANIZED STEEL GUTTER TO MATCH ORIGINAL. REFER TO ROOF PLAN 02/A2.2 FOR EXTENT OF REPLACEMENT  | 22 COMBUSTION AIR AND VENT. REFER TO MECHANICAL DRAWINGS   | 27 NEW SA DUCT TO BASEMENT. PATCH AND MAKE GOOD FLOOR TO MATCH EXISTING.                   |
| 05 NEW CEDAR SHINGLES                                       | 12 NEW SHEET FLOORING  | 18 EXISTING BRICK CHIMNEY.  | 23 PROVIDE PENETRATION THROUGH WALL FOR DUCT. PROVIDE NEW FRESH AIR INTAKE LOUVRE C/W INSECT SCREEN. SEAL PERIMETER AT EXTERIOR. MAKE GOOD ALL FINISHES. REFER TO MECHANICAL DRAWINGS. COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION | 28 EXISTING DUCTS TO REMAIN AND BE REUTILIZED BY MECHANICAL SERVICES. REFER TO MECHANICAL. |
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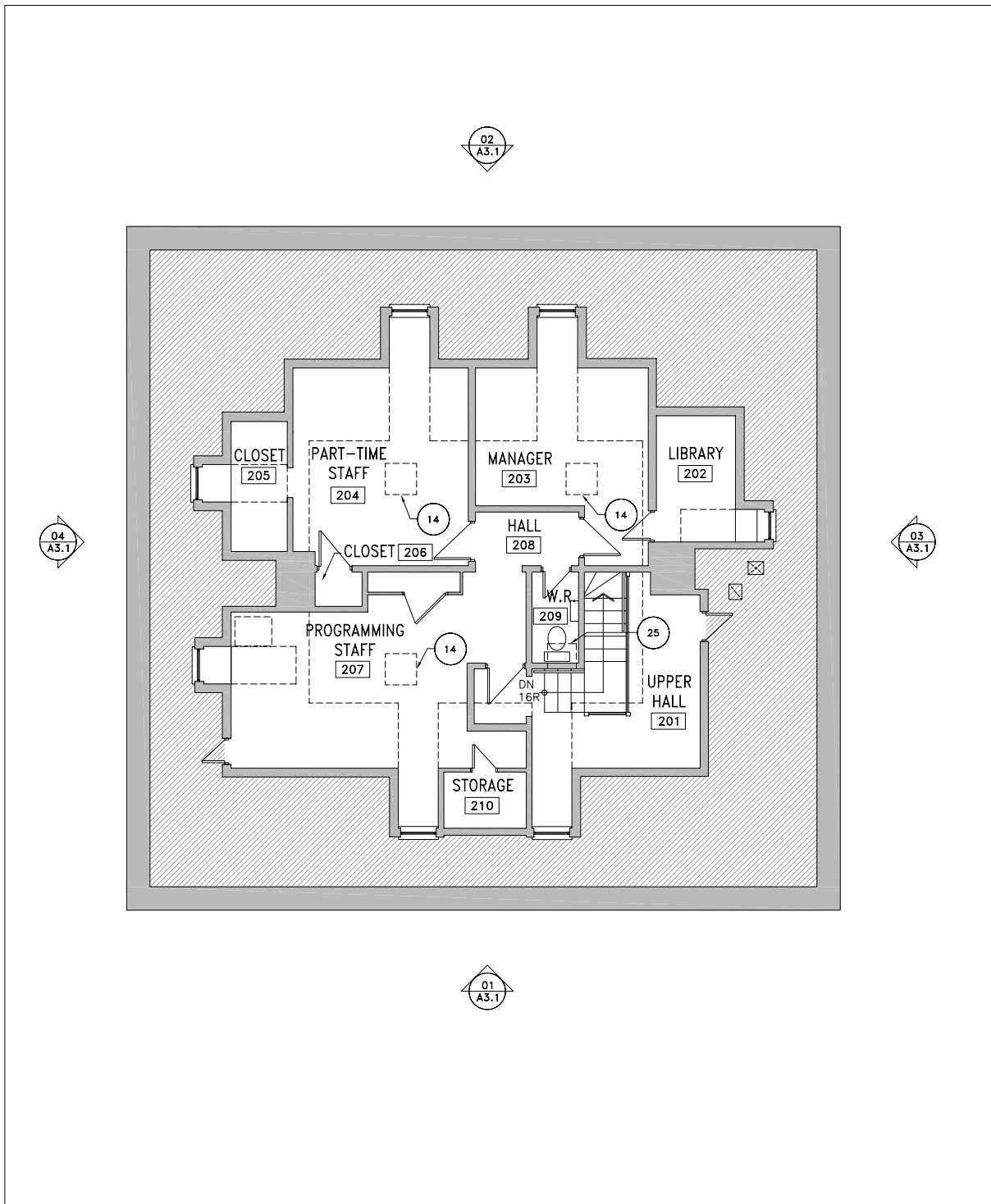
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Mississauga, ON  
L5J 4T2

Project number:  
21201  
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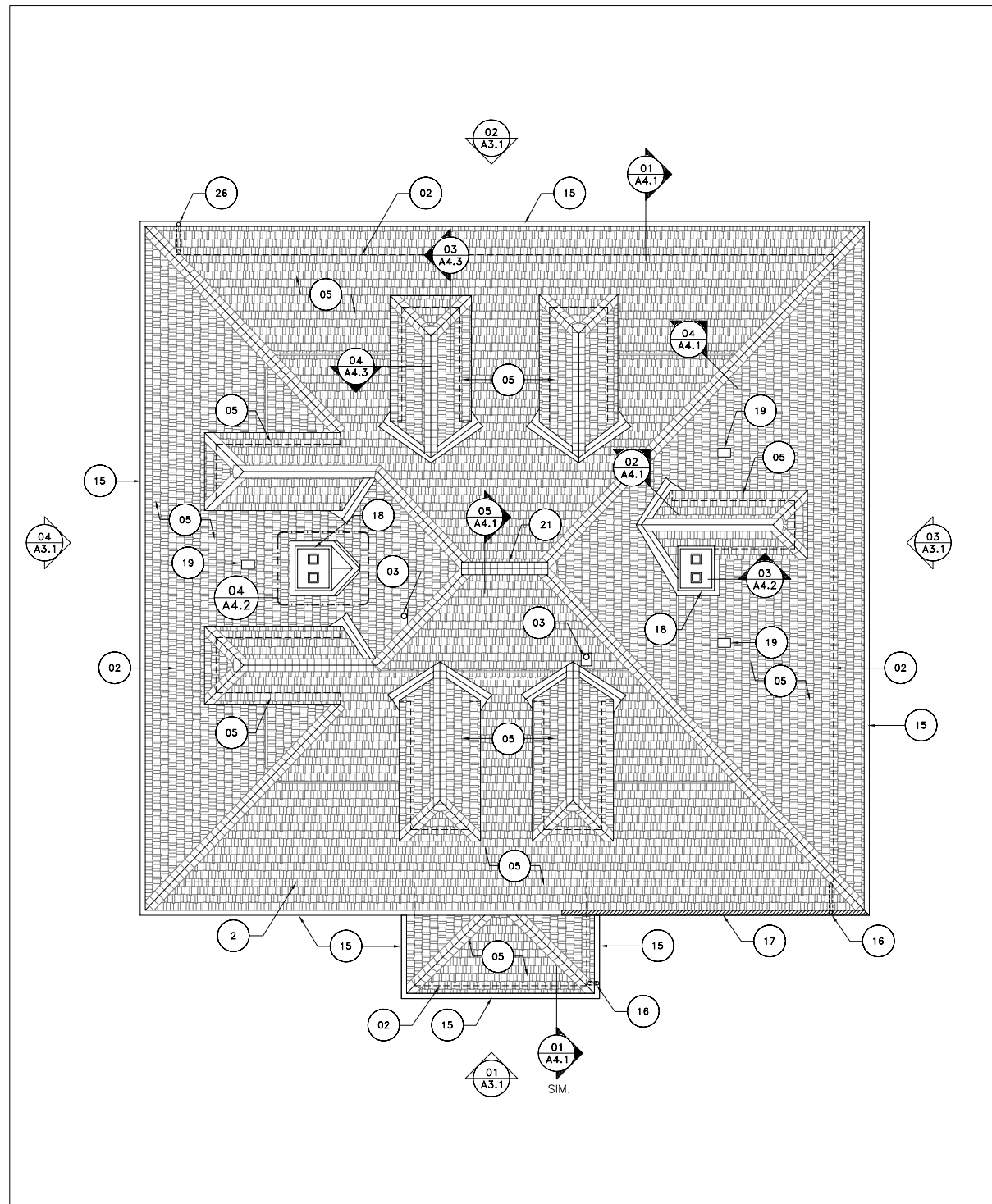
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**PLANS  
SECOND LEVEL AND  
ROOF**

**A2.2  
TENDER**

03 NOTES  
A2.2



01 PLAN - SECOND LEVEL  
A2.2 SCALE: 1:75



02 PLAN - ROOF  
A2.2 SCALE: 1:75

NOTES:

- |   |  |   |  |  |
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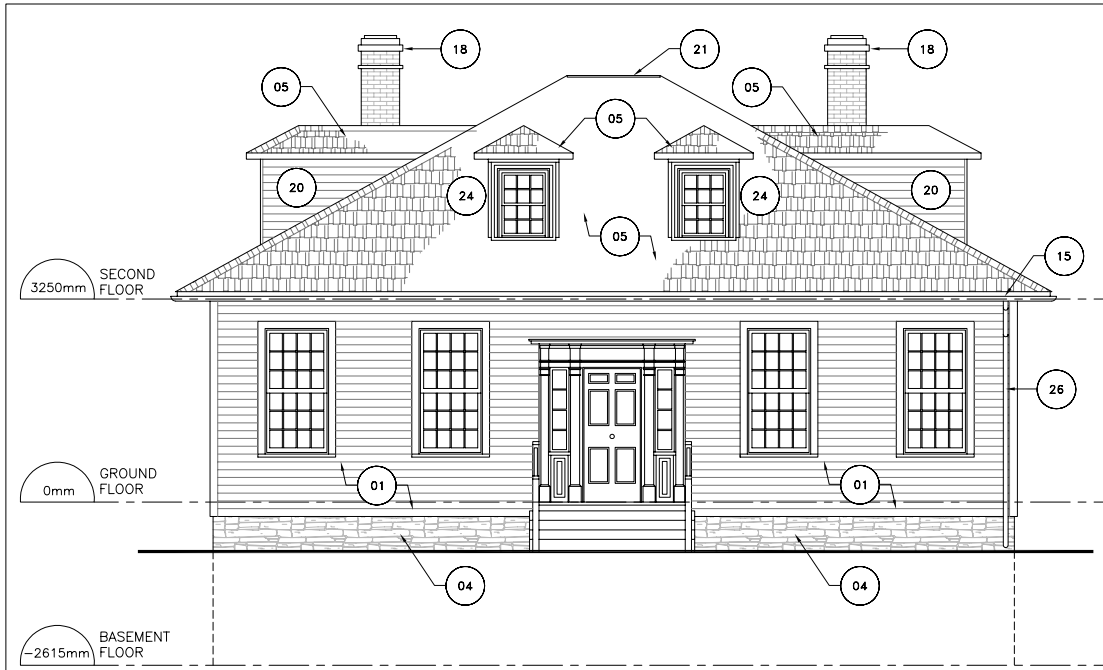
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21201

Plot date: MAY 1, 2012  
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Drawn by: DHI/AEY  
Checked by: CH

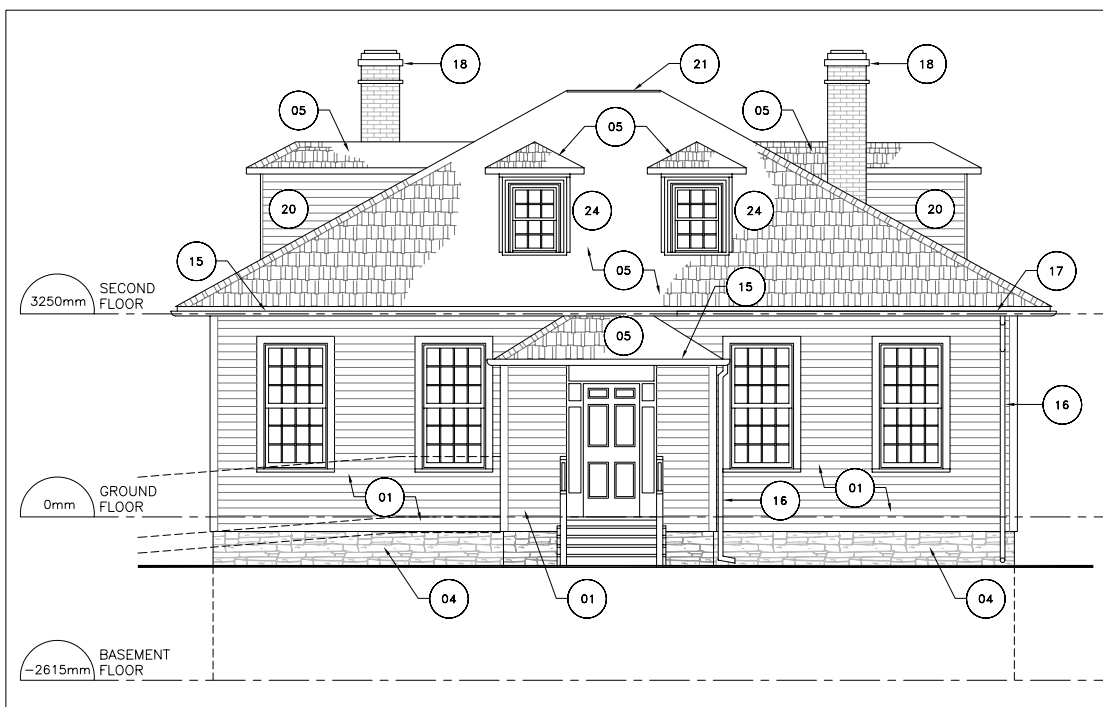
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A3.1  
TENDER

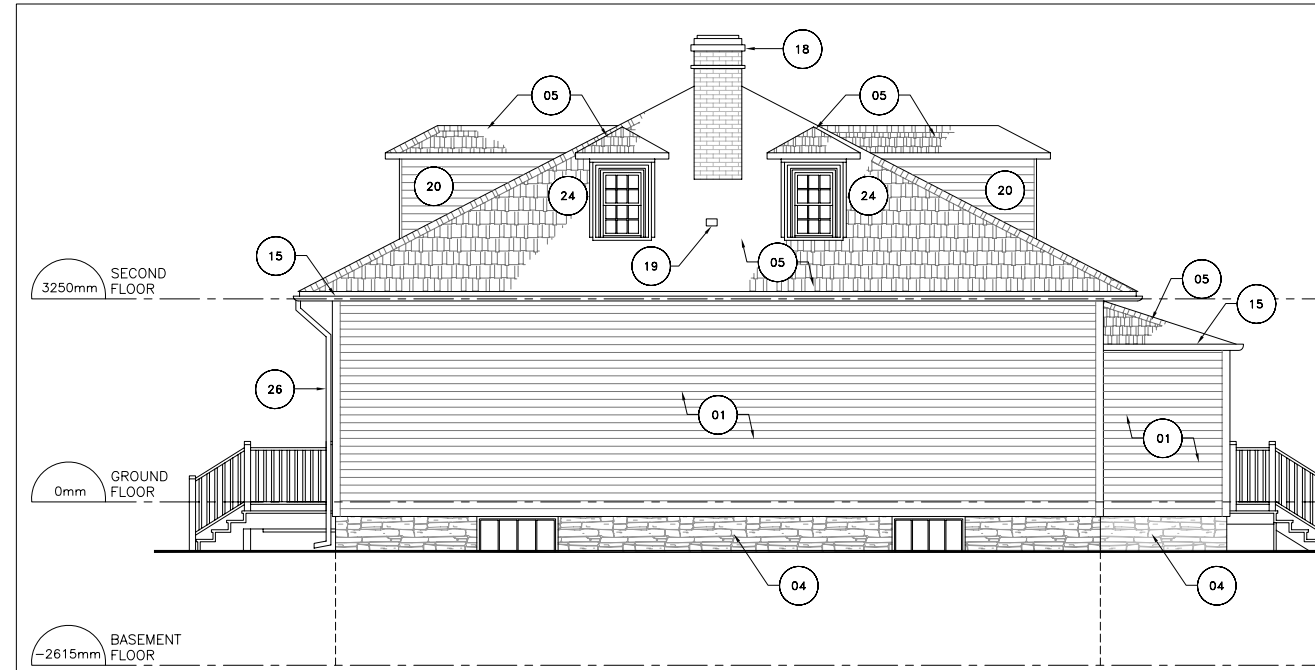
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A3.1



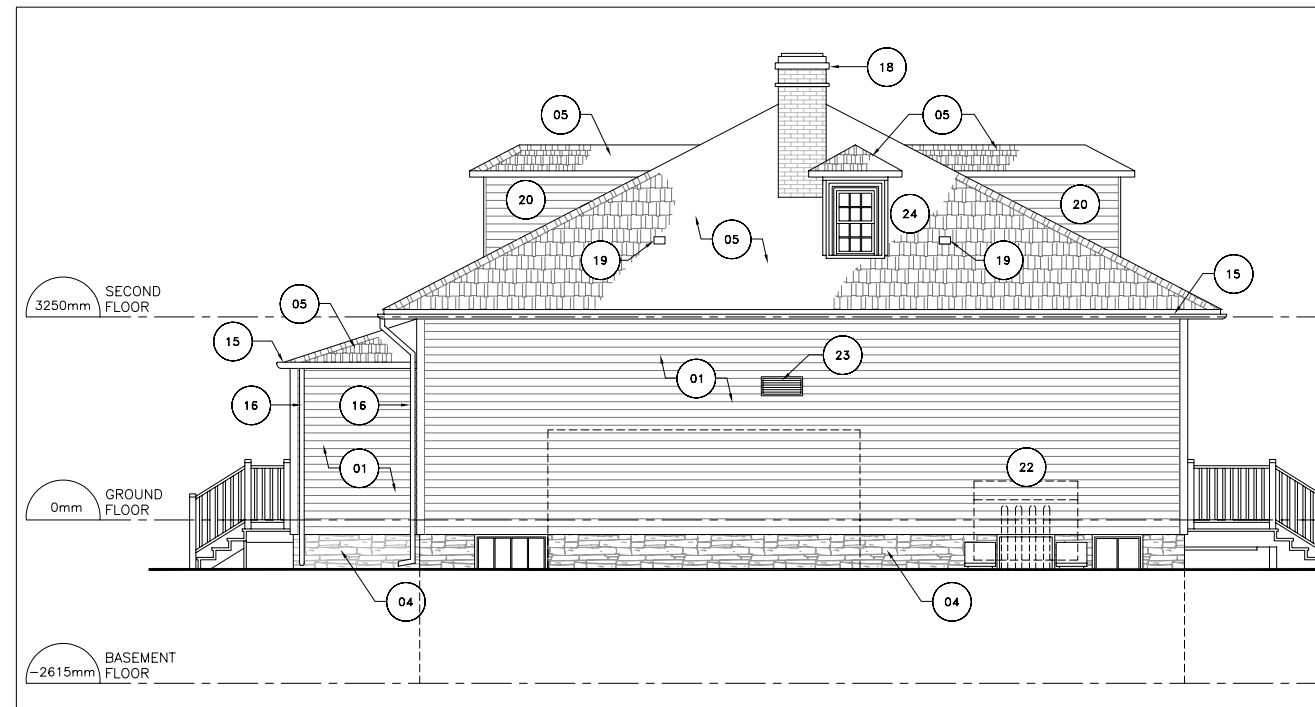
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A3.1 SCALE: 1:50



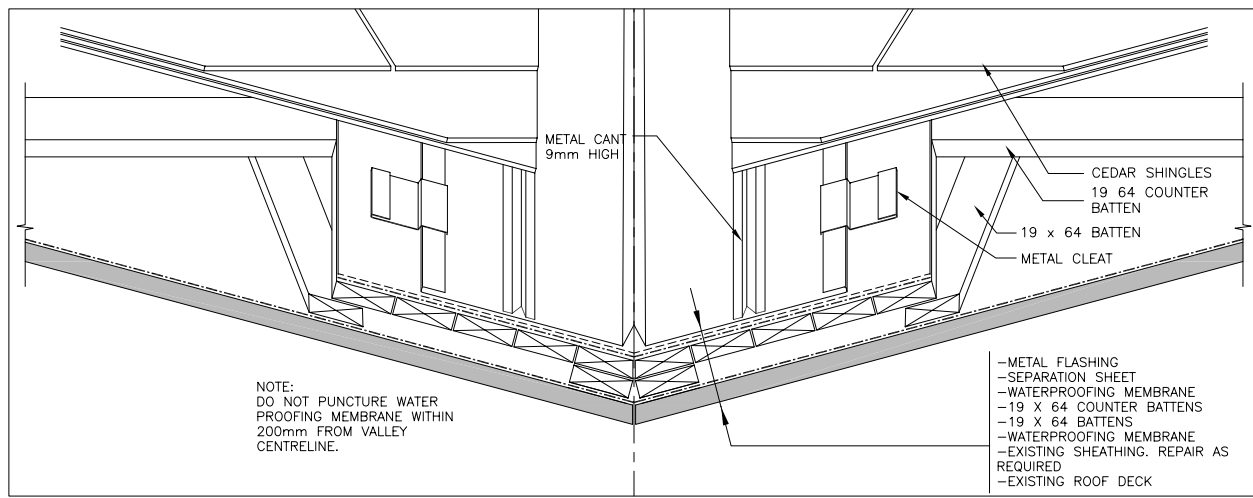
01 SOUTH ELEVATION  
A3.1 SCALE: 1:75



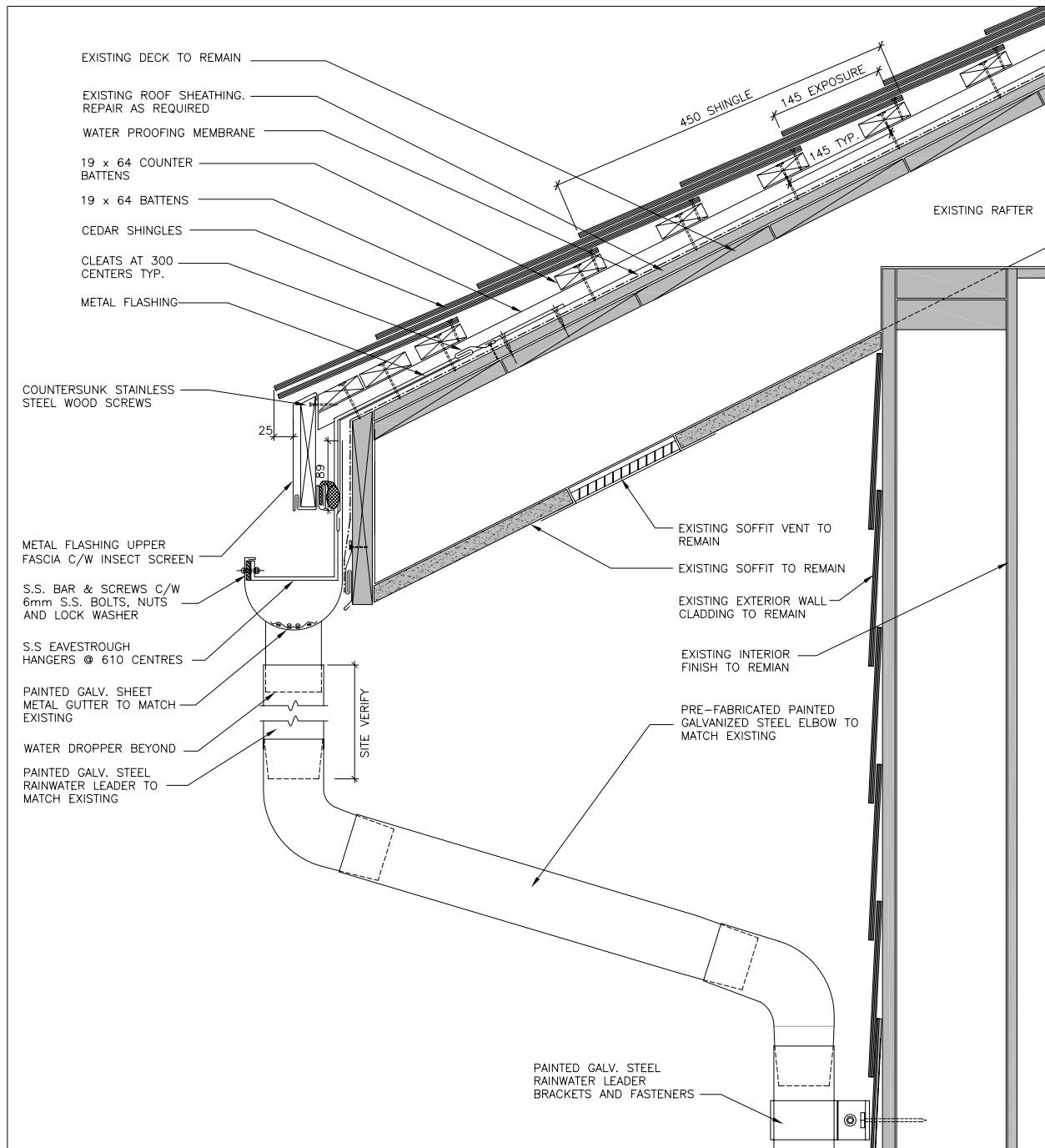
04 WEST ELEVATION  
A3.1 SCALE: 1:50



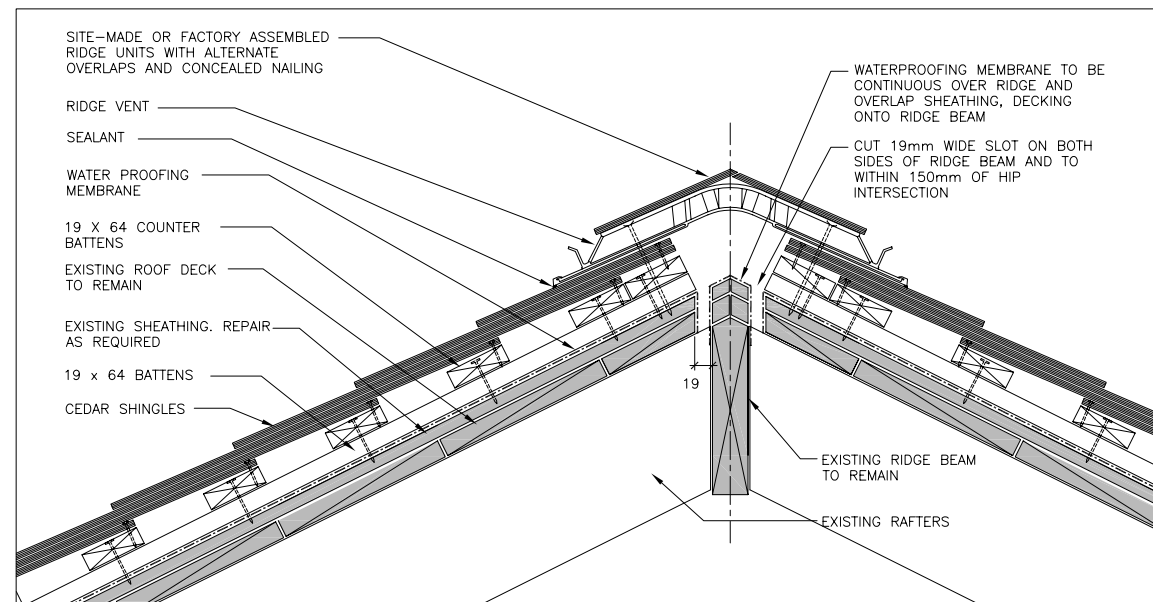
03 EAST ELEVATION  
A3.1 SCALE: 1:50



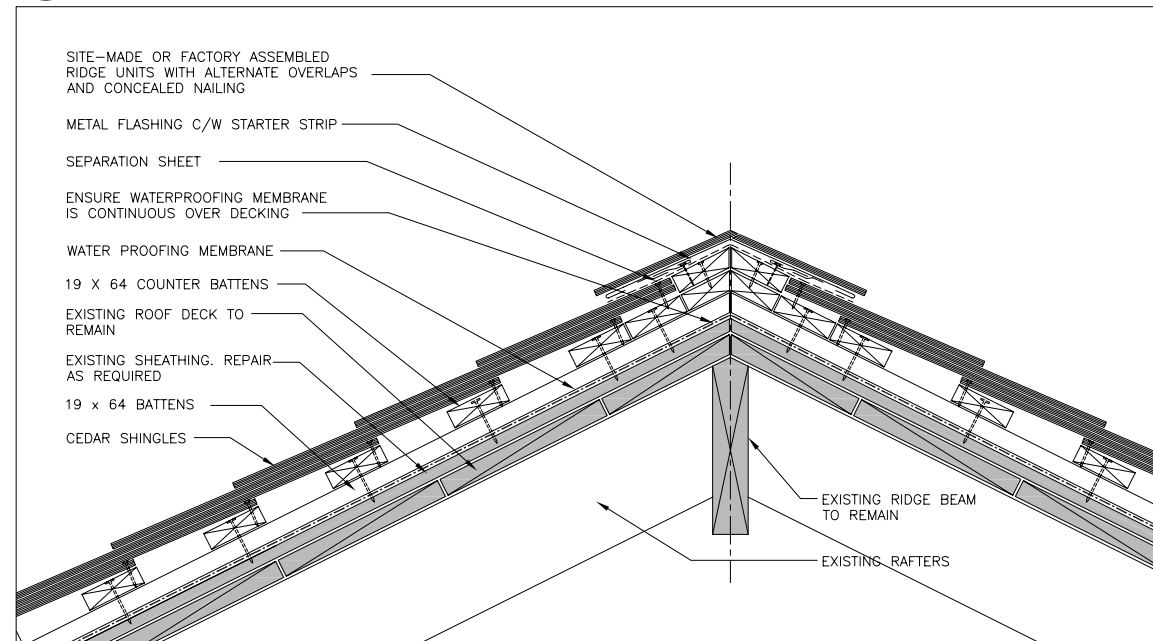
**02** DETAIL - VALLEY  
A4.1 SCALE: 1:5



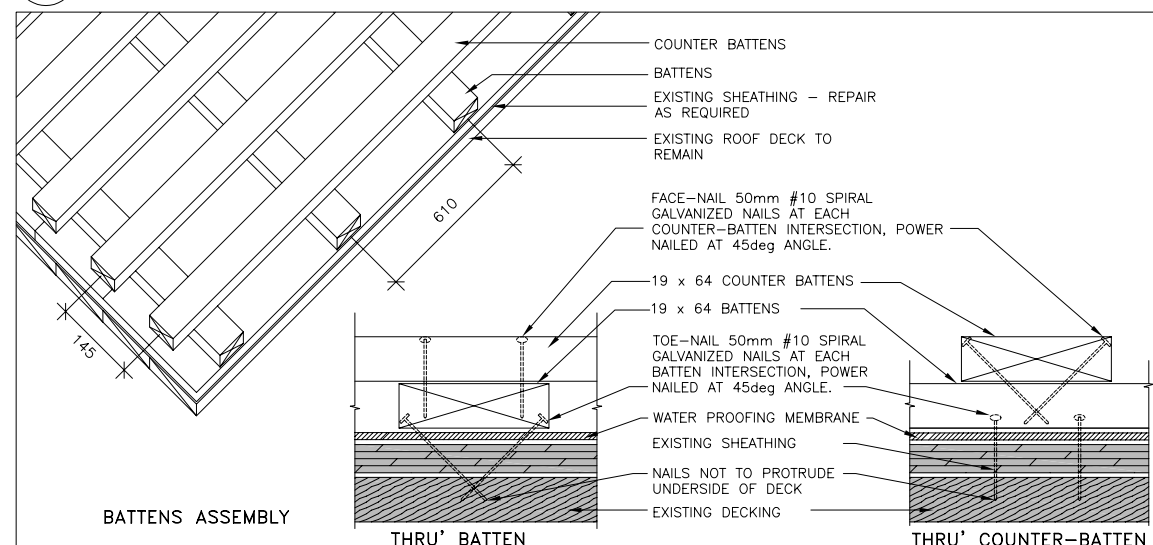
**01** SECTION DETAIL - EAVE  
A4.1 SCALE: 1:5



**05** SECTION DETAIL - VENTED RIDGE  
A4.1 SCALE: 1:5



**04** SECTION DETAIL - RIDGE  
A4.1 SCALE: 1:5



**03** DETAIL - TYPICAL BATTENS ASSEMBLY  
A4.1 SCALE: 1:5

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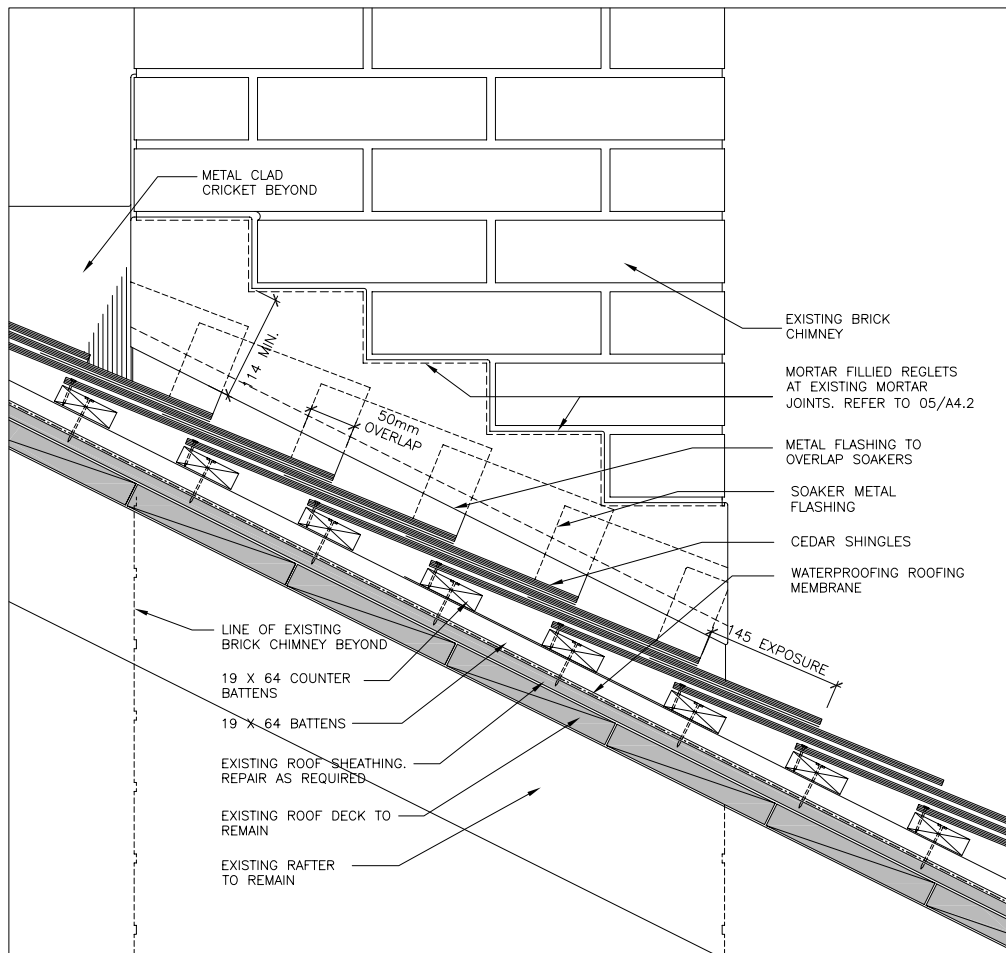
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Plot date: MAY 1, 2012  
Scale as noted or: AS NOTED  
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Checked by: CH

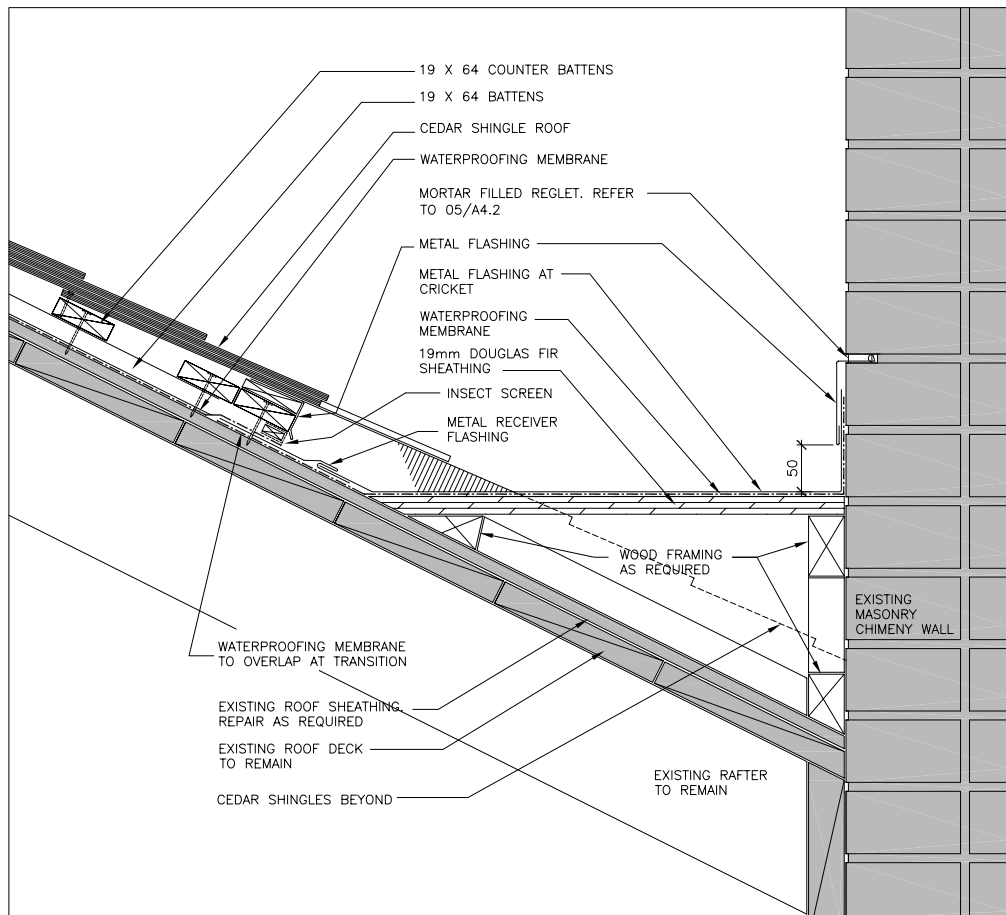
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**TYPICAL DETAILS  
EAVE  
RIDGE  
VALLEY**

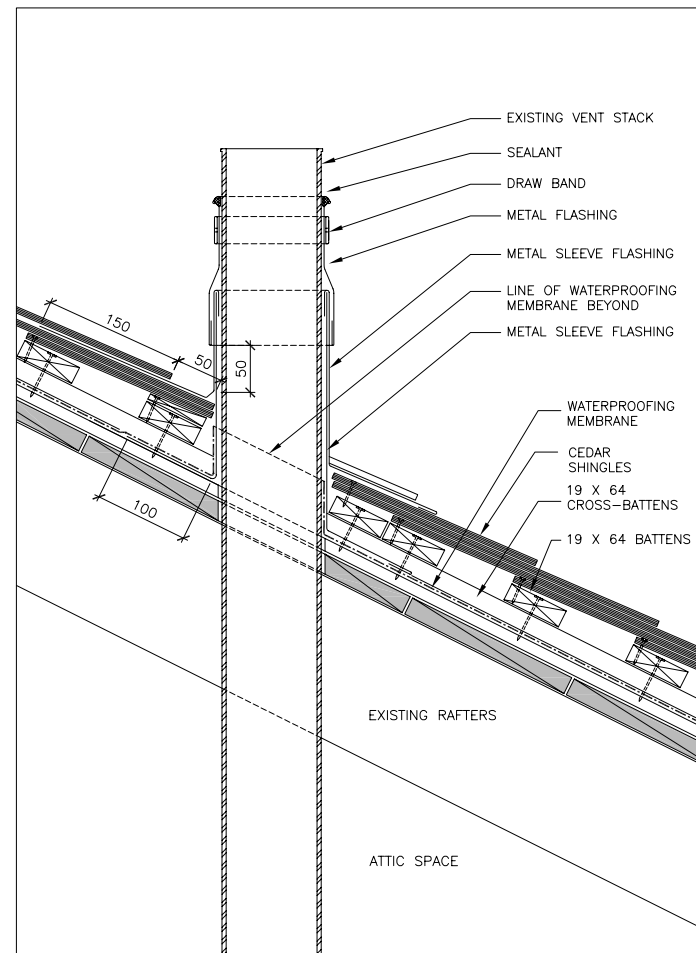
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TENDER**



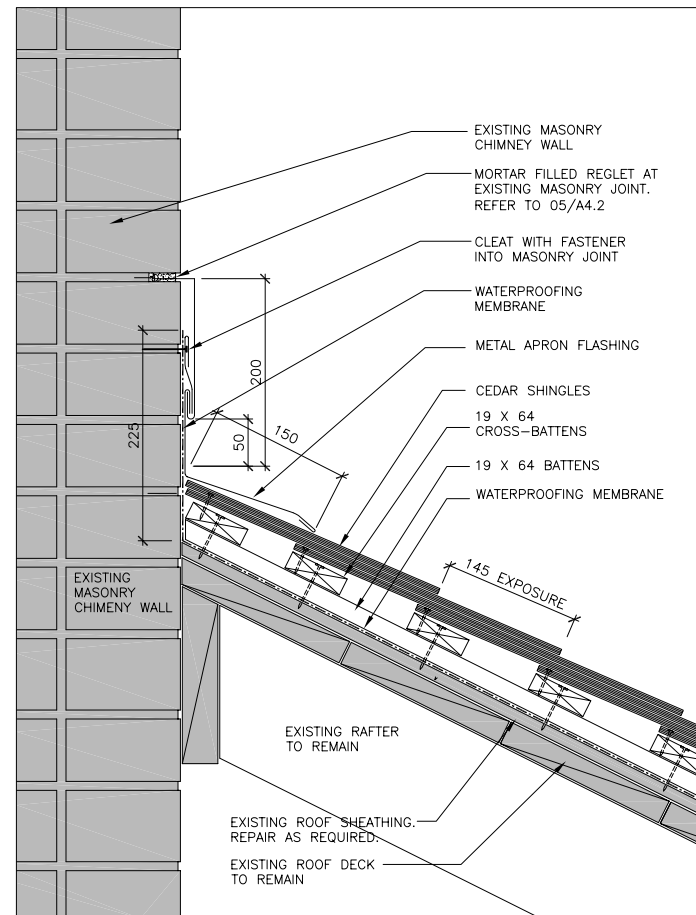
02 ABUTMENT DETAIL - CHIMNEY AT SOAKER FLASHING  
A4.2 SCALE: 1:5



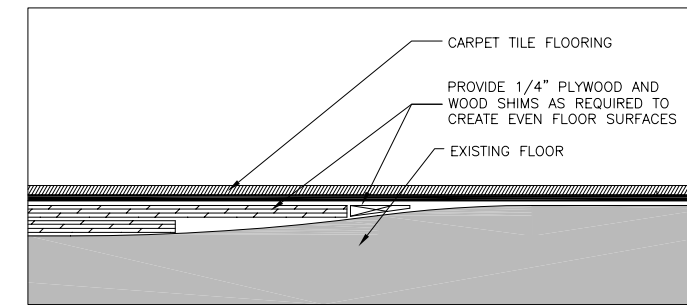
01 ABUTMENT DETAIL - CHIMNEY AT CRICKET  
A4.2 SCALE: 1:75



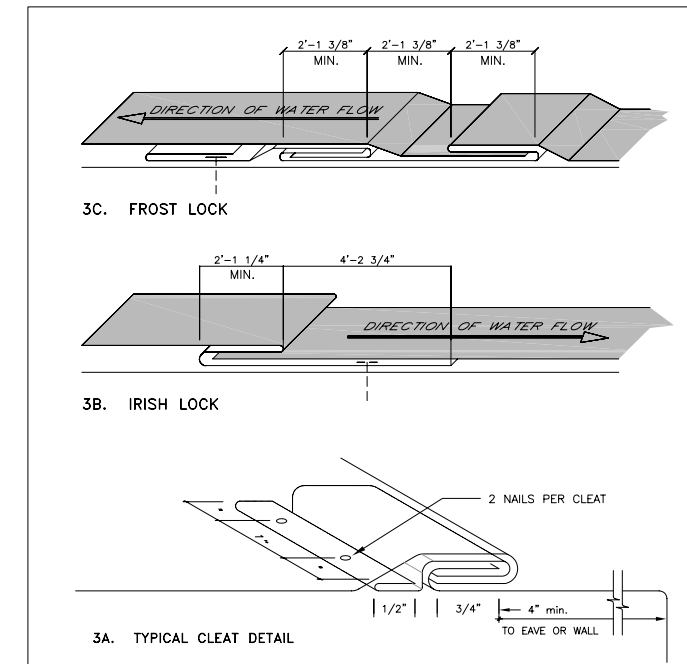
06 SECTION DETAIL - FLOOR PREPARATION  
A4.2



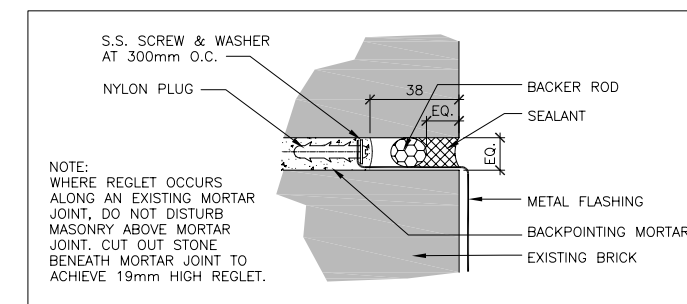
03 ABUTMENT DETAIL - CHIMNEY AT APRON FLASHING  
A4.2 SCALE: 1:5



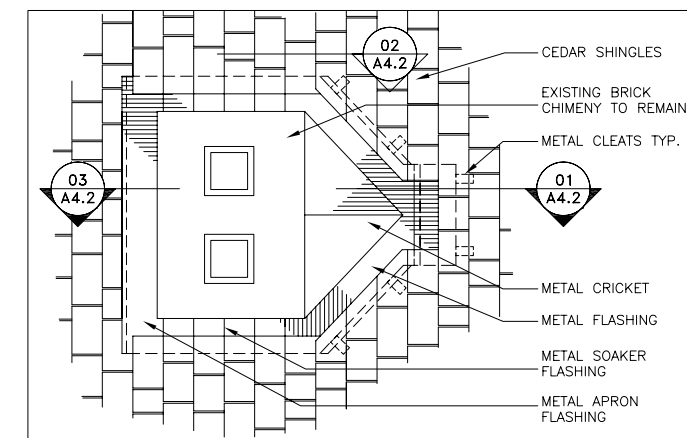
08 SECTION DETAIL - FLOOR PREPARATION  
A4.2 SCALE: 1:2



07 DETAIL - CLEAT AND METAL FLASHING LOCKS  
A4.2 N.T.S.



05 DETAIL - REGLET  
A4.2 SCALE: 1:5



04 PARTIAL PLAN - BRICK CHIMNEY ABUTMENTS  
A4.2 SCALE: 1:20

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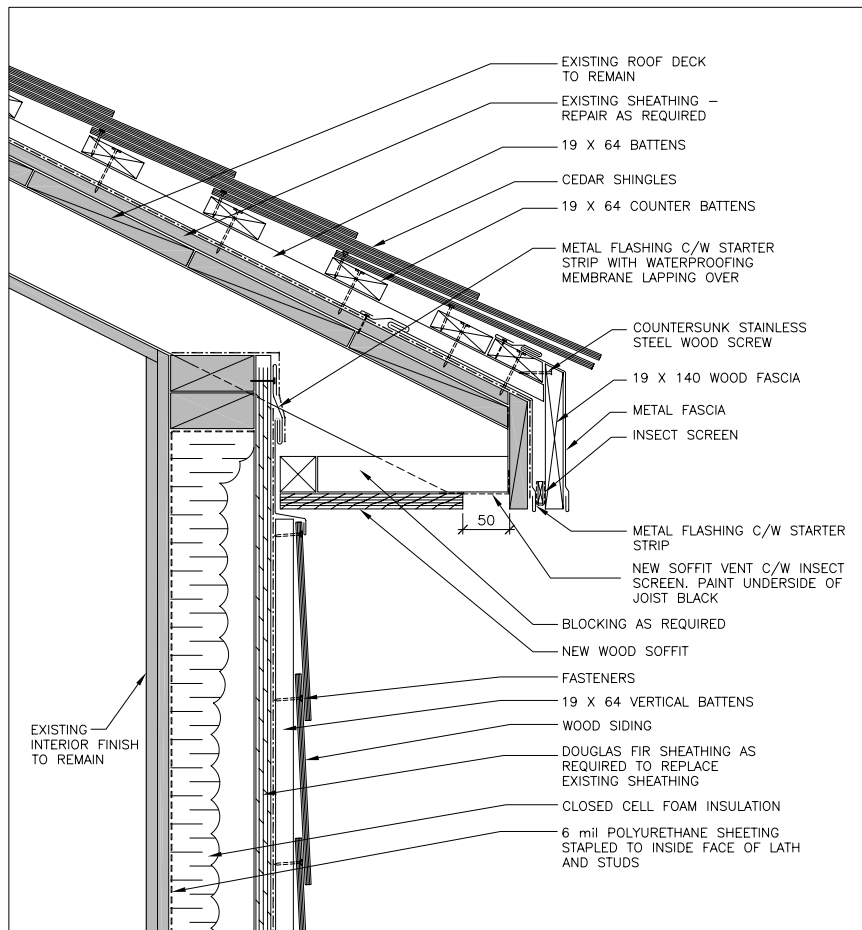
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Cad file: 21201-DETAILS.dwg  
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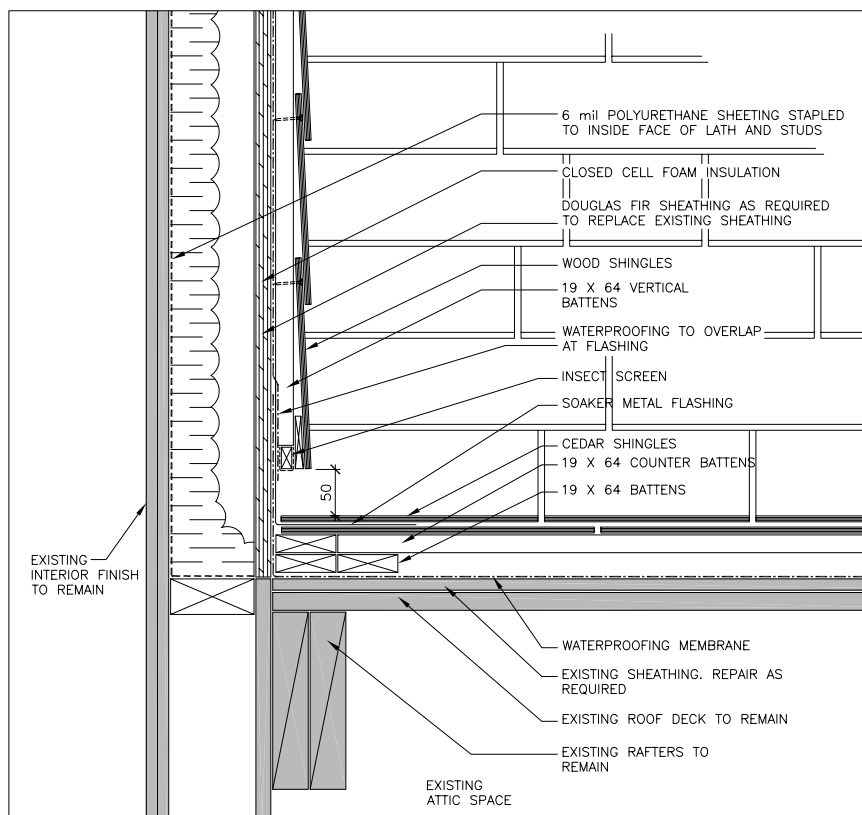
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TYPICAL REGLET

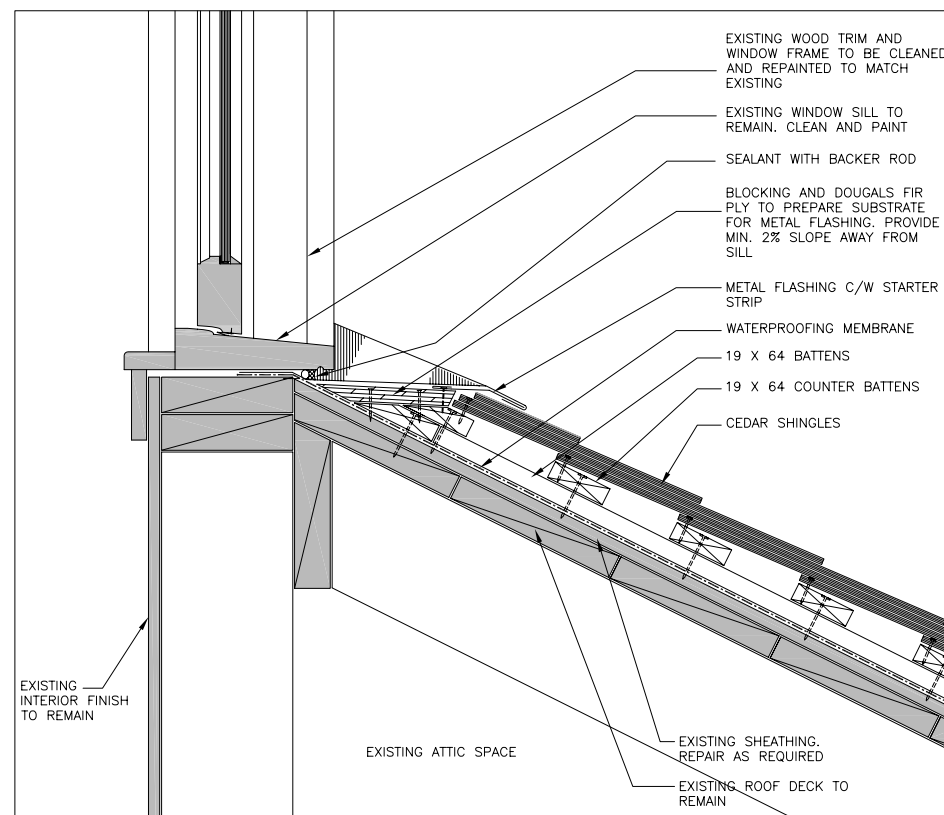
A4.2  
TENDER



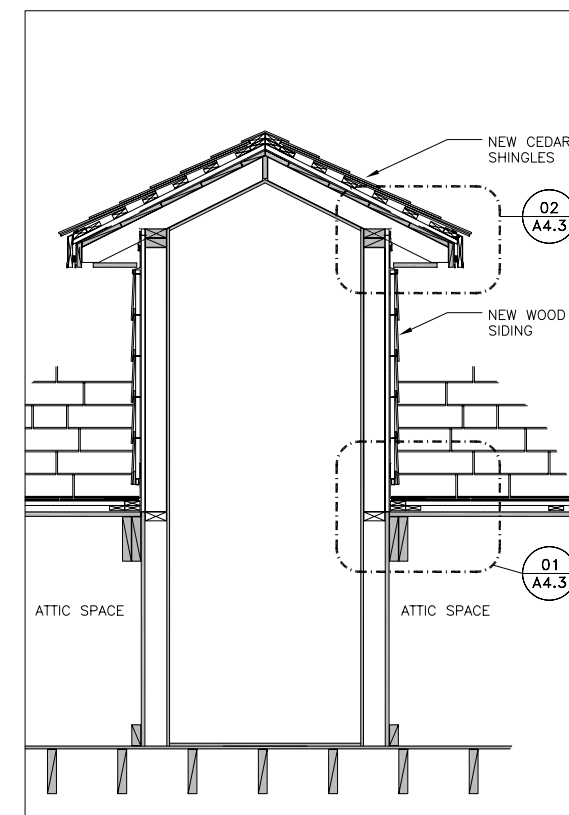
02 SECTION DETAIL - DORMER  
A4.3 SCALE: 1:5



01 SECTION DETAIL - DORMER  
A4.3 SCALE: 1:5



03 SECTION DETAIL - DORMER  
A4.3 SCALE: 1:5



04 KEY SECTION - TYPICAL DORMER  
A4.3 SCALE: 1:20

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Drawing title:

**DORMER DETAILS**

**A4.3  
TENDER**

APRIL, 2012

Heritage Advisory Committee

MAY 22 2012

## HERITAGE IMPACT STUDY

47 ORIOLE AVENUE  
MISSISSAUGA, ON



STRICKLAND | MATELJAN

DESIGN ASSOCIATES LTD

79 Wispi St Suite 301 • Oakville, ON L6K 3G4 | Phone: 905 642 2848 • [www.sjm.ca](http://www.sjm.ca)





## Overview:

This report is prepared to address the proposed demolition and re-development of the property at 47 Oriole Ave, Mississauga, ON.

Alison Strickland of Strickland Mateljan Design Associates Ltd. was engaged by the property owners to complete a Heritage Impact Study and to comment on an original design by Jardin Design Group Inc. The site and existing dwelling were photographed and measured in March, 2012. A Chain of Title search was performed by Stephen Nott Conveyancing Services of Brampton, ON. The information from this search was used to establish the timelines and ownership of the property, as set out in Section 3.

This property is located in a Cultural Landscape recognized and regulated by the City of Mississauga.

“Cultural landscapes are settings that enhance community vibrancy, aesthetic quality, distinctiveness, sense of history and/or sense of place. The City of Mississauga adopted a Cultural Landscape Inventory in 2005. It is the first municipality in the province to do so. All cultural landscapes are listed on the City’s Heritage Register. Most landscapes include numerous properties. There are approximately 60 landscapes or features, visually distinctive objects and unique places within landscapes, on the City’s Heritage Register.

. . . Cultural Landscapes can be defined as a setting which has enhanced a community’s vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place.”

(City of Mississauga website)

The Cultural Landscape Inventory further defines and describes the fundamental characteristics of the Mineola neighborhood.

“Mineola was developed before it became standard practice to re-grade topsoil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighborhood with a variety of quality housing stock and rich stimulating landscape that blends houses with their natural and

manicured surroundings. There are no curbs on the roads which softens the transition between the street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees.”

(The Landplan Collaborative Ltd., Goldsmith, Borgal & Company Ltd., North South Environmental Inc., Geodata Resources Inc., 2005)

## Terms of Reference:

The City requires that at a minimum a Cultural Landscape Heritage Impact Statement must include the following:

### 1. General requirements:

- property owner contact information
- location map
- a site plan of existing conditions, to include buildings, structures, roadways, driveways, drainage features, trees and tree canopy, fencing and topographical features
- a written and visual inventory (photographs) of all elements of the property that contribute to its cultural heritage value, including overall site views. For buildings, internal photographs and floor plans are also required.
- a site plan and elevations of the proposed development
- for cultural landscapes or features that transcend a single property, a streetscape plan is required, in addition to photographs of adjacent properties
- qualifications of the author completing the report

### 2. Addressing the Cultural Landscape or Feature Criteria:

- scenic and visual quality
- natural environment
- landscape design
- aesthetic and visual quality
- consistent scale of built features
- illustrates a style, trend or pattern
- illustrates an important phase of social or physical development
- significant ecological interest

### 3. Property information:

- chain of title, date of construction

### 4. Impact of Development or Site Alteration:

- destruction of any, or part of any, significant heritage attributes or features
- alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden

- isolation of a heritage attribute from its surrounding environment, context or a significant relationship
- direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
- a change in land use where the change in use negates the properties cultural heritage value
- land disturbances such as change in grade that alter soils and drainage patterns that adversely affect cultural heritage resources

#### 5. Mitigation Measures:

- alternative development approaches
- isolating development and site alteration from the significant built and natural heritage features and vistas
- design guidelines that harmonize mass, setback, setting and materials
- limiting density and height
- allowing only compatible infill and additions
- reversible alterations

#### 6. Qualifications:

- The qualifications and background of the person completing the Heritage Impact Statement will be included in the report. The author must demonstrate a level of professional understanding and competence in the heritage conservation field of study

#### 7. Recommendation:

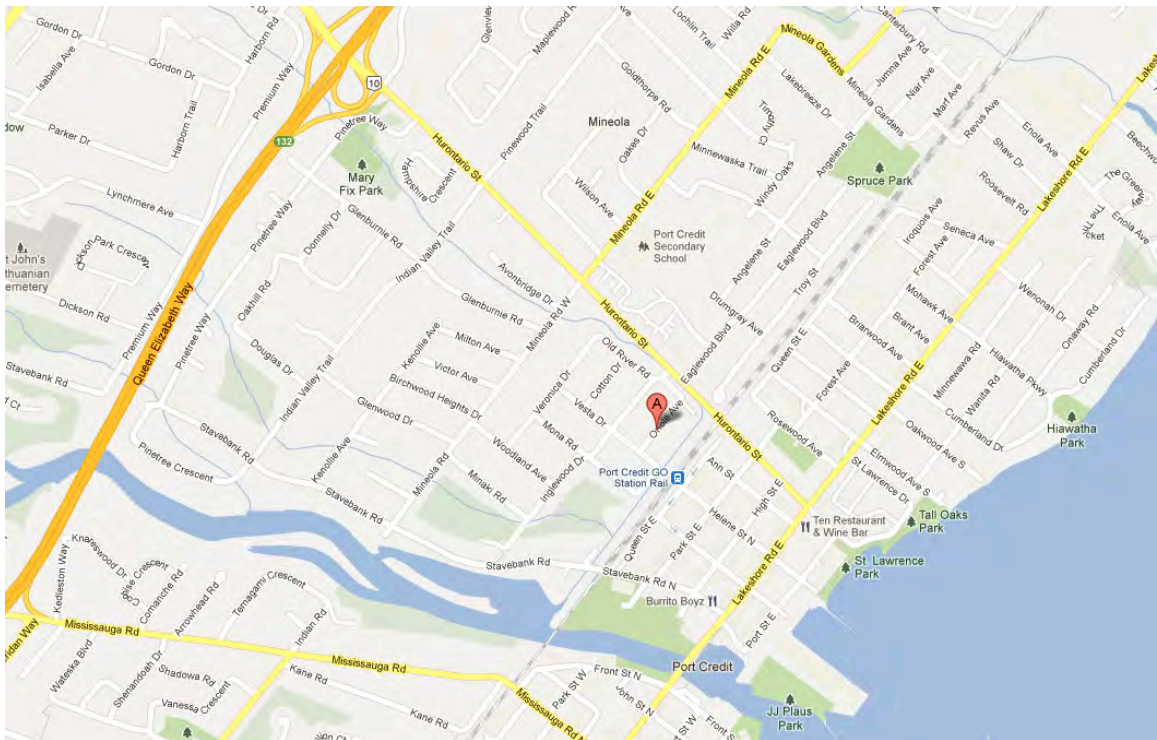
- the consultant should provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act

## 1. General Requirements

### Property owners:

The property was acquired in November, 2011 by 2304812 Ontario Limited (Gold Ribbon Homes), Akiva Jakubovic:  
 akivaj@goldribbonhomes.com , 416-221 3334 x104.

### Site map:

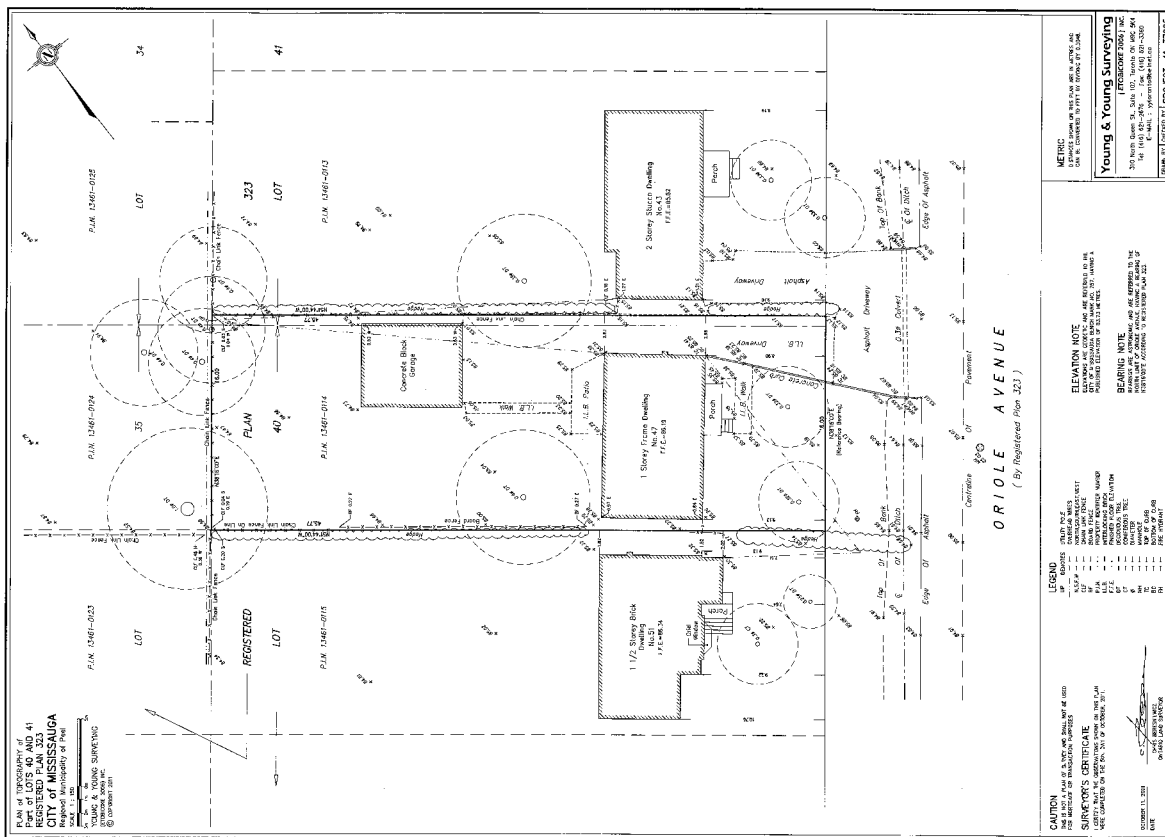


### Context:

The property is located on the north side of Oriole Avenue, east of Vesta Drive. It is west of Hurontario and south of the QEW in what is known as the Mineola neighborhood of Mississauga. This is a stable, mature residential community.

The property is designated Residential Low Density 1 in the Mineola District Policies of the Mississauga Plan. This designation provides for

single detached residential dwellings only. The property is zoned R3-1 under the City of Mississauga Zoning By-law 225-2007.



Existing property survey:

### Existing conditions on site:

The subject property is a level, rectangular lot approximately 16m wide x 46m deep. Total lot area is approximately 732 m<sup>2</sup>. The site is bordered on all sides by similar single family residential uses. There is an approximately 30cm grade differential as the property falls from front to back. The property hosts only 3 mature trees of more than 30cm in diameter and of moderate height, but apart from that the vegetation is limited to sod.

The existing house is a one storey dwelling with finished basement level. It is in good condition and has obviously been regularly maintained and is presently occupied. The form of the house is a simple rectangle with a double-hipped roof and a shed roof over the front porch.

The building is compact and appears to have maintained its original ground floor layout completely intact over the course of time. The main floor consists of kitchen, dining room, living/family room, 2 bedrooms, master bedroom, and one bathroom accessible from the main corridor. A rear entry also serves to access the basement.

The front porch is a possible later addition, as it does not appear to have been fully anticipated by or integrated with the original house construction (canopy footprint is larger than the concrete porch base), but there is no way to confirm when it was built in relation to the house.

There is a detached concrete block garage on the property with front and back gabled walls and a double door. This is set behind the house as a very secondary building, as is not even finished in the same siding or roofing materials as the main house.



Street view showing garage behind

The original basement is a low-ceiling space which is presently used as laundry, mechanical, storage and study rooms. It also houses a second bathroom, bedroom, kitchen and living room, which appear to have functioned as a semi-independent basement apartment. The foundation wall is visible in the mechanical room and consists of 10" concrete blocking. The beams and joists are conventional 2x8's.

The exterior of the house is pre-finished horizontal aluminum siding, with parged concrete foundations, exposed to about 24" above grade on all four sides, and painted on the front and side elevations for aesthetic purposes.

Trim work on the main house is limited to pre-finished metal on the corner-boards, and generally unremarkable. The front porch columns are simple 4x4 painted wood posts, although adornment has been added to the covered porch by way of a scalloped wood trim. Porch and stair railings are painted wrought iron. Soffits are pre-finished aluminum. Roofs are simple, medium slope and covered in asphalt shingle.

Most of the basement windows appear to be the original wood framed windows, but the remainder, including the whole main floor, have been replaced with metal windows over the years. There is no significant architectural intent obvious here.

### **Analysis:**

This home is not one of the earlier homes in the Mineola community, nor does it distinguish itself with any more architectural intent or interest than other houses in the community. There is also no obvious way that this home attempts to integrate itself into the landscape.

Although the bland aesthetic material choices (possibly original, but not enhanced by routine maintenance over it's lifespan) do not set this house apart in any way, the fact that its basic form and interior layout have remained unchanged since it's construction, do serve to softly mark its place in the trajectory of changing cultural expectations and the progression of this area from a semi-rural to a sub-urban community.

**Proposal:**

The proposal involves the demolition of the existing home on this site and the construction of a new home of approximately 3,600 square feet designed by Jardin Design Group Inc. The new home is proposed to occupy the area of the existing home and will also extend significantly to the north of it.

The proposed home is a two-storey, two-gabled, hipped/flat-roof rectangular volume with a mix of brick and stone finish and cut stone and wood detailing. It is designed in a vernacular French chateau-style with a balanced asymmetrical composition of forms, rooflines and fenestration. It is completely different from the building presently occupying the site but similar in form and materials to other homes being built in the local area.

**2. Criteria****-scenic and visual quality****Analysis:**

-the proposed construction will result in increased height, massing and will change the visual character of the property. The site is at present under-developed as compared to some properties on the street, and the proposed construction will make this property more similar in standard to other new houses going up in the community. With this intensification the overall coverage on this property will remain moderate at 24% , but the Gross Floor area will be at the limit of 336.4 m<sup>2</sup> permitted by the zoning by-law. There will be some change to the scenic and visual quality of the site but this is not detrimental and reflective of the general shifting character of the community.

**-natural environment****Analysis:**

-the impact on the natural environment will be minimal under this proposal. Only one mature tree on the site will be removed, and there will be minimal grade disruption. The natural pattern of drainage and topography will be maintained.



-landscape design

Analysis:

-the front-yard landscaping is presently defined by two mature trees, and these will be maintained. Although the new driveway will be wider than the existing, it will be significantly shorter.

-aesthetic and visual quality (built environment)

Analysis:

-this is a community very much in architectural transition. The proposed building does not draw its design intent from the historic character of the community but rather compliments the significant number of other examples of recent construction in the area. The proposed building displays restraint as regards its size, proportion and detailing. It will be an attractive addition to the community.

-consistent scale of built features

Analysis:

-the front elevation of the proposed building is a series of elements designed to break down the scale and mass of the building. While the proposed lot coverage and floor area/lot ratio is similar or somewhat greater than its immediate neighbours, the proposed building is generally similar in scale, massing, materiality and detailing to other new homes on comparable lots elsewhere in the community.

-illustrates a style, trend or pattern

Analysis:

-not applicable - the Mineola community has evolved significantly over time and is not an example of an identifiable style, trend or pattern. The proposed house also does not attempt to illustrate a particular style, trend or pattern.

-significant ecological interest

Analysis:

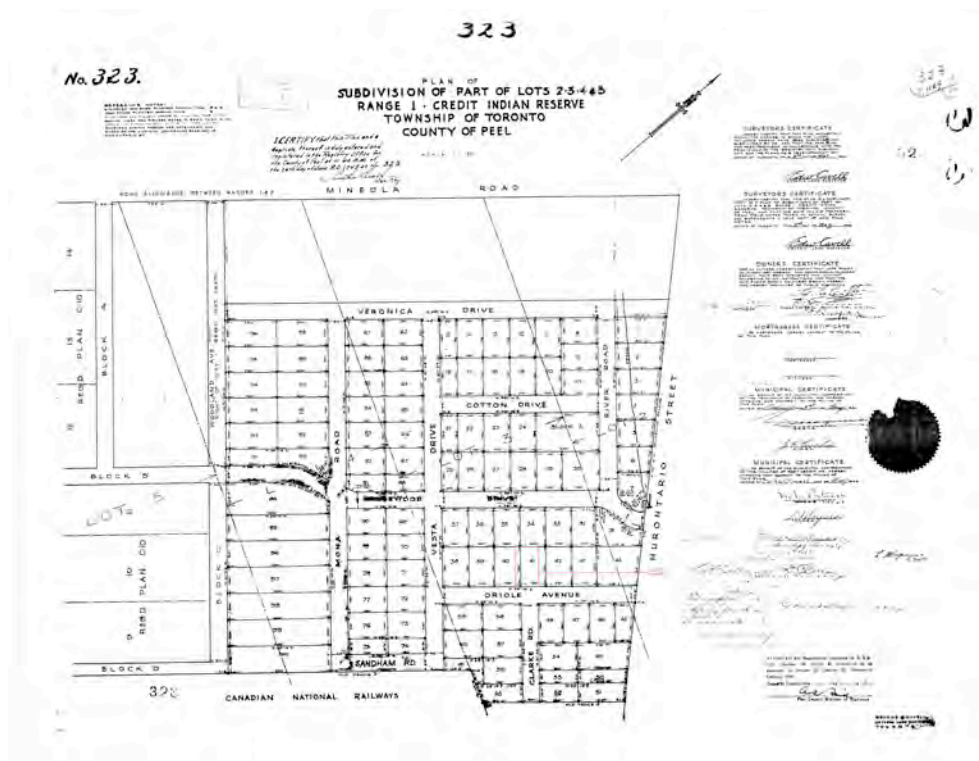
-the proposal will not significantly alter the ecology of the community

### 3. Property Information

Analysis of land titles information reveals as follows:

This property was part of a parcel of land known as Lot 3 Range 1 CIR, east of Hurontario Street and south of Veronica Drive. Records of ownership of this property begin in the 1850's when these lands were purchased from the Crown by Robert Cotton. There is a break in the chain, then title records indicate transfers in 1865 from a Frederick W. Jarvis to the Bank of Upper Canada, then back into the Cotton Family.

The Cotton family were well known farmers and merchants in Toronto and purchased extensive tracts of land in this area in the 1850's. The Cotton homestead was located at 1234 Old River Rd. Brothers Robert and James Cotton are synonymous with the early development of Port Credit.



1943 Plan of Subdivision

In 1943 a Plan of Subdivision for Lots 2, 3, 4 & 5 of Range 1 CIR was drawn up on behalf of Cyril and Dixie Cotton, to dividing the land into 106 lots which were transferred to F.J. Moore Construction Company Ltd. Not much is known about this company, other than they appeared to be a small operation who were then selling off the lots without houses, between September 1943 and as late as May 1945, as is borne out by advertising in the classified section of the Toronto Star from that time period. At the time, the area was known as Peel Gardens.

**7 Suburban Properties**  
and Out-of-Town Properties

**Secure Your Future Home**

IT is the ambition of every human being to own a home. We can help you make this possible by securing a lot in beautiful **Peel Gardens** at Port Credit, which is just being opened.

**R**ESTRICTED, exceptional transportation, close to schools, shopping shows and churches; low taxes; low down payment, two years on balance.

**D**RIVE out to see it. Open evenings.

**F**. J. MOORE Construction Company Limited, first property north of Lake Shore on Centre road Port Credit. **PHONE FORT CREDIT 2628**

**Beautiful Peel Gardens**  
CENTRE ROAD, PORT CREDIT  
50 ACRES, restricted, subdivided into choice building lots, beautifully fenced, exceptional transportation, close to schools and stores.  
**L**OTS sold on easy terms, two years to pay. Buy a home site now and have it paid for ready to build your new home after the war.  
**Y**OU are invited out. F. J. Moore Construction Company Limited, phone Port Credit 2628.

**BEAUTIFUL Peel Gardens** Centre Rd. Port Credit 500 restricted desirable building lots water, light, roadways close to transportation F. J. Moore Construction Co. Ltd. Port Credit 2628

Sep 4, 1943 Toronto Star

Oct 15, 1943 Toronto Star

May 1, 1945 Toronto Star

F.J. Moore Construction Company Ltd, still owned the property up until April 1, 1952, on which date it was sold as a vacant lot to Herman Tessier, and then immediately to Nick Kapki on the same day for \$1,400. Research was not able to uncover any familial or historical information on either of these two owners.

From the 1954 aerial photographs one can make out that there is now a house on the property at this time, which clearly pinpoints the house's construction date to sometime after 1952 but before 1954, under the ownership of Nick Kapki, with his spouse Ann Kapki. There is no garage visible in the aerial photographs until 1956, so one can conclude that it was built within a few years of the main house.



(1954 air photo - site framed in red)

On March 1, 1956, the property is transferred to its next owner, Icilio Mancini. Nothing is known about Icilio Mancini, or his family, but he appears to live out the rest of his life (approximately 40 more years) as the owner of this house, with no significant or discoverable profile in the community. It transfers as part of his estate, to Maria Mancini (presumably a spouse, offspring, or other relative) on October 5, 2011, and remains in her name for a further three years, until November 21, 2011 when the present owners, Gold Ribbon Homes, acquired it.



(1966 air photo - site framed in red)



(1985 air photo - site framed in red)



(1995 air photo - site framed in red)



(2011 air photo – site framed in red)

#### Analysis:

The Mineola area is largely associated with post-WW2 housing and the house at 47 Oriole Avenue is very characteristic of this period of development when the transition from semi-agricultural uses to urbanisation was taking place. During this time, the sale of lots, including vacant ones, was targeted very much at returning war veterans. Although jobs were scarce at the time, these veterans were financially empowered with state pensions as well as access to financing at favourable lending rates, which meant they were well equipped to afford these properties with the purpose of putting up a house. Even if Icilio Mancini was not a war veteran himself, it is quite likely that many of his neighbours were.

The home is notable in that it served as the home of what amounts to essentially one long-term owner, Icilio Mancini and his family.

#### 4. Impact of Development or Site Alteration

–the proposed development will have minimal impact on the identified heritage attributes in the cultural landscape. The cultural landscape document identifies no particular attributes associated with the existing building at 47 Oriole Ave. There will be minimal change in terms of topography, lotting pattern, vistas, tree canopy and foliage. There will be no shadow impacts outside of the subject

site. The development will result in intensification of the site but not to a significant extent and not inconsistent with other similar projects in the immediate area.

## 5. Mitigation Measures

–as there are no identifiable detrimental impacts, no mitigation measures are necessary or proposed.

## 6. Qualifications

– CV's for the partners of Strickland Mateljan Design Associates are attached (Rick Mateljan & Alison Strickland).

## 7. Recommendations

The property must be evaluated under the criteria for designation under the Ontario Heritage Act.

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement.

Analysis: Although the building proposed to be demolished has not been modified since its initial construction, nothing about the building in its present state would indicate that it was ever rare, unique or displayed a high degree of craftsmanship or achievement. The building displays much less craftsmanship and architectural interest than other buildings of similar age and purpose in the local area.

2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or

- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Analysis: The building proposed to be demolished has associations with the early development of this area, although to no greater a degree than other buildings on the street or in the immediate community. There is no evidence that this building has any significance to any identifiable community or culture.

- 3. The property has contextual value because it,
  - i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings, or
  - iii. is a landmark.

Analysis: The property proposed to be demolished does in fact contribute to the character of the what is a typical 1950's streetscape. However, it is not linked to its physical location or surroundings, nor is it a landmark.

### **Conclusion:**

The house at 47 Oriole Avenue is interesting as an example of mid-20<sup>th</sup> century semi-rural development in Mississauga and should be thoroughly documented prior to demolition. There appear to be no materials worthy of salvage on the site.

The building does not meet the requirements for designation under Part IV of the Ontario Heritage Act.

### **8. Provincial Policy Statement:**

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

Analysis:

Under this definition, 47 Oriole Avenue does not warrant conservation.



**Bibliography:****Newspapers -**

Toronto Star - Sep 4, 1943 quoted

Toronto Star - Oct 15, 1943 quoted

Toronto Star - May 1, 1945 quoted

**Websites-**

Historic Images database, City of Mississauga

Property Information database, City of Mississauga

**Other-**

Interview with Matthew Wilkinson, Historian, Heritage Mississauga

**Exterior photos:**



South elevation



Rear elevation (north), showing garage rear



Rear (north) elevation



East elevation



Garage

Interior photos:



Living Room



Dining Room



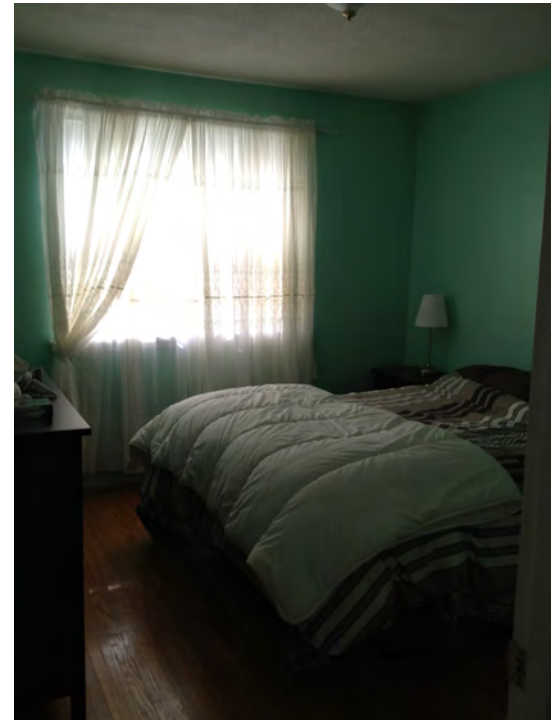
Typical bedroom



Hallway



Kitchen



Master Bedroom



Bathroom



Living Room (basement)



Bedroom (Basement)



Kitchen (Basement)





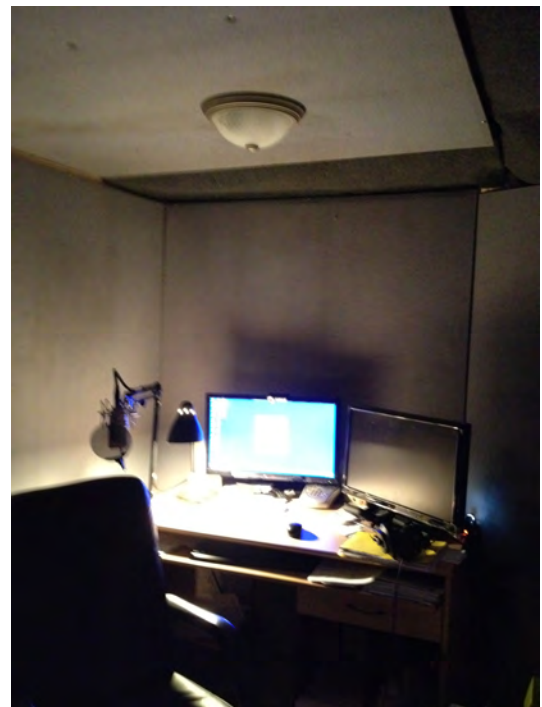
Bathroom (Basement)



Laundry Area (Basement)



Mechanical/Storage (Basement)



Office (Basement)

**Community context:**



Neighbouring dwellings to East of subject site



Neighbouring dwelling to West of subject site



Neighbouring dwelling across Oriole Ave from subject site

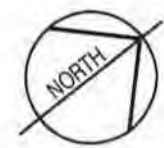


Neighbouring dwelling across Oriole Ave

**Appendices:**

- Site plan of proposed development
- Elevations of proposed development
- Floor plans of proposed development
- Streetscape drawing showing proposed development in context
- Streetscape drawing showing existing building in context
- Floor plans of existing building

--- STORM CONNECTION	ENTRANCE DOOR LOCATION	● STREET LIGHT	F.F.LR. FINISHED FLOOR ELEVATION
--- SANITARY CONNECTION	▲ GARAGE DOOR LOCATION	▲ TRANSFORMER	T/WALL TOP OF FOUNDATION WALL
W--- WATER CONNECTION	* ENGINEERED FILL LOT	⊠ CABLE TV PEDESTAL	F.SLAB FIN. BASEMENT FLOOR SLAB
H--- HYDRO CONNECTION	● SANITARY MANHOLE	■ BELL PEDESTAL	U/FTG. UNDERSIDE FOOTING ELEVATION
□ DOUBLE CATCH BASIN	○ STORM MANHOLE	⊠ HYDRO METER	TTTT PROPOSED 3:1 SLOPE
□ CATCH BASIN	MAIL COMMUNITY MAILBOX	⊠ GAS METER	100.00 PROPOSED GRADE
○ HYDRANT	○ DOWNSPOUT LOCATION	⊠ AIR-CONDITIONING UNIT	SW EXISTING GRADE
⊗ VALVE AND CHAMBER	← SWALE DIRECTION	⊠ TELECOM. JUNCTION BOX	×100.00 PROPOSED SWALE GRADE

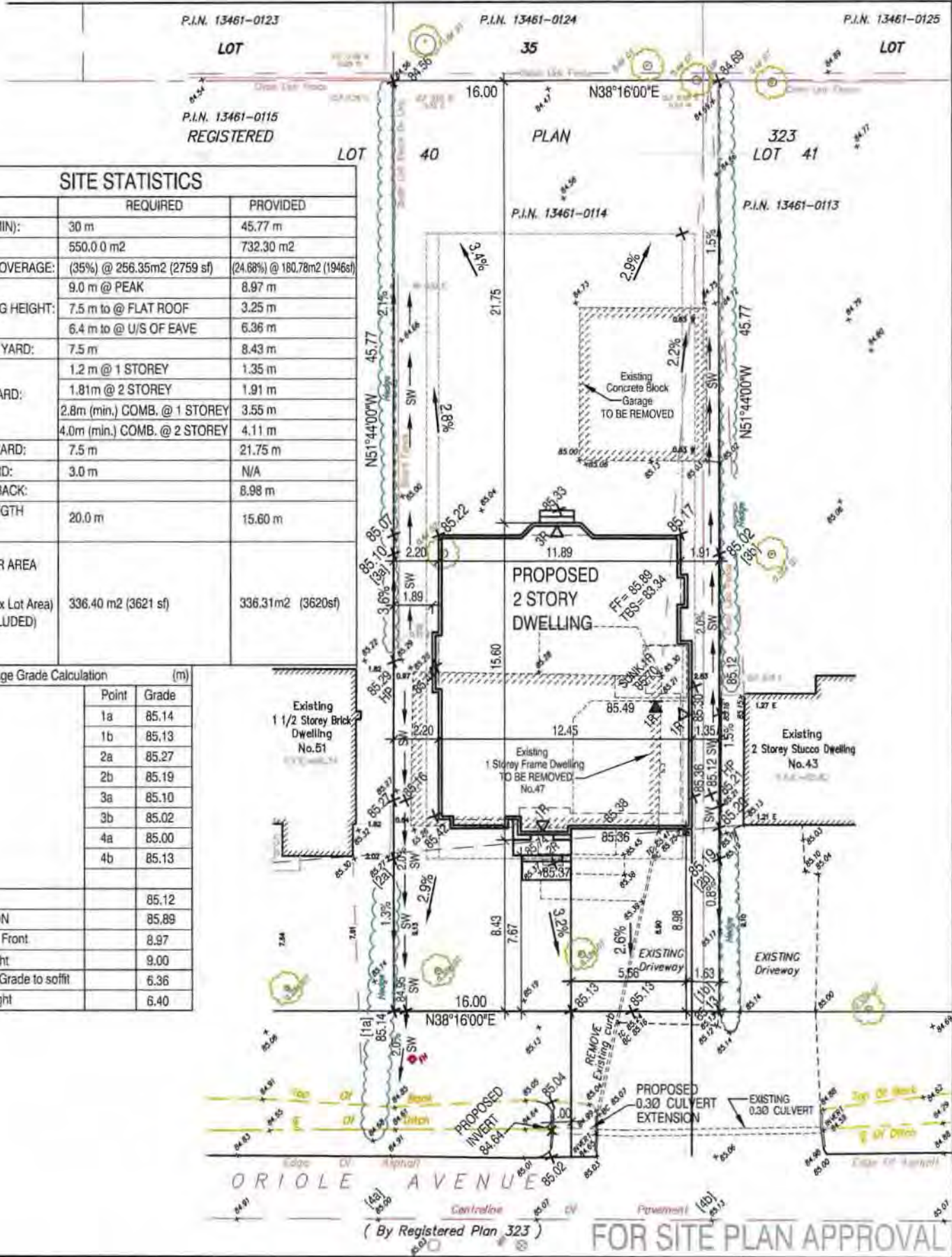


THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
 JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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**SITE STATISTICS**

	REQUIRED	PROVIDED
LOT DEPTH (MIN):	30 m	45.77 m
LOT AREA:	550.00 m <sup>2</sup>	732.30 m <sup>2</sup>
REQ'D MAX. COVERAGE:	(35%) @ 256.35m <sup>2</sup> (2759 sf)	(24.68%) @ 180.78m <sup>2</sup> (1946sf)
MAX. BUILDING HEIGHT:	9.0 m @ PEAK	8.97 m
	7.5 m to @ FLAT ROOF	3.25 m
REQ'D FRONT YARD:	6.4 m to @ U/S OF EAVE	6.36 m
	7.5 m	8.43 m
REQ'D SIDE YARD:	1.2 m @ 1 STOREY	1.35 m
	1.81m @ 2 STOREY	1.91 m
	2.8m (min.) COMB. @ 1 STOREY	3.55 m
REQ'D REAR YARD:	4.0m (min.) COMB. @ 2 STOREY	4.11 m
	7.5 m	21.75 m
EXT. SIDE YARD:	3.0 m	N/A
GARAGE SETBACK:		8.98 m
BUILDING LENGTH (MAX.)	20.0 m	15.60 m
GROSS FLOOR AREA (MAX.)		
190 m <sup>2</sup> + (0.2 x Lot Area) (GARAGE INCLUDED)	336.40 m <sup>2</sup> (3621 sf)	336.31m <sup>2</sup> (3620sf)

Average Grade Calculation (m)

Point	Grade
1a	85.14
1b	85.13
2a	85.27
2b	85.19
3a	85.10
3b	85.02
4a	85.00
4b	85.13
Ave. Grade	85.12
F.F. ELEVATION	85.89
Bldg height @ Front	8.97
Max Bldg Height	9.00
Height @ Ave Grade to soffit	6.36
Max Soffit Height	6.40

47 ORIOLE AVE.

PROJ. No. 11-67	DATE: Dec. 13, 2011	SCALE: 1:250
LOT No. Part 40 & 41	MUNICIPAL ADDRESS 47 ORIOLE AVE.	
REG. PLAN 323	CITY of MISSISSAUGA, ONTARIO	



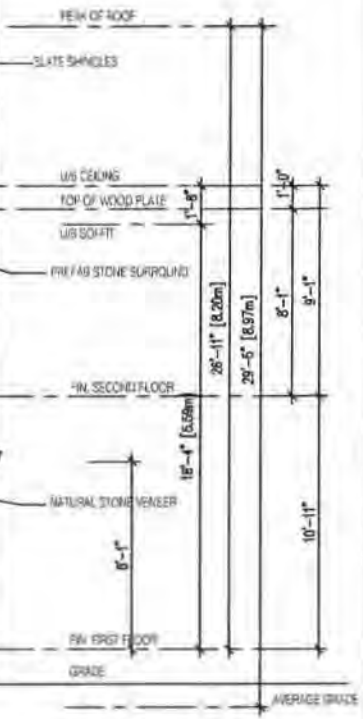
FOR SITE PLAN APPROVAL

**jardin**  
 DESIGN GROUP INC.  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca



REAR ELEVATION

FRONT ELEVATION

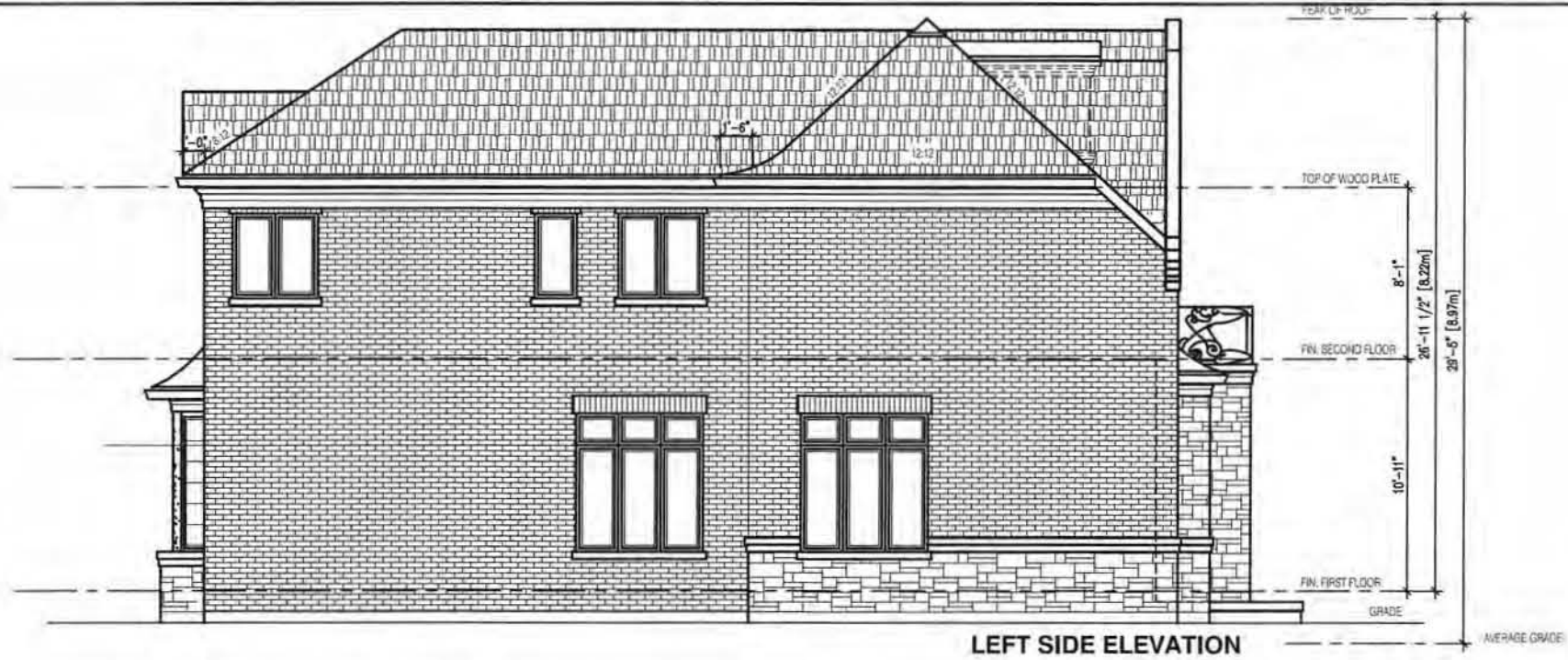


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 EMAIL: info@jardindesign.ca

CUSTOM HOME  
 MISSISSAUGA, ONTARIO

1	
2	
3	
4	JAN 26, 2012 REV'D PER ZONING COMMENTS
5	NOV 23, 2011 REDESIGN PER CLIENT REQ.
6	NOV 17, 2011 FOR SPA SUBMISSION
7	OCT 27, 2011 2ND FLR FOR CLIENT REV.
8	DATE: WORK DESCRIPTION:

**BILD** CUSTOM  
 SCALE: 1/8" = 1'-0"  
 PROJ. No: 11-67

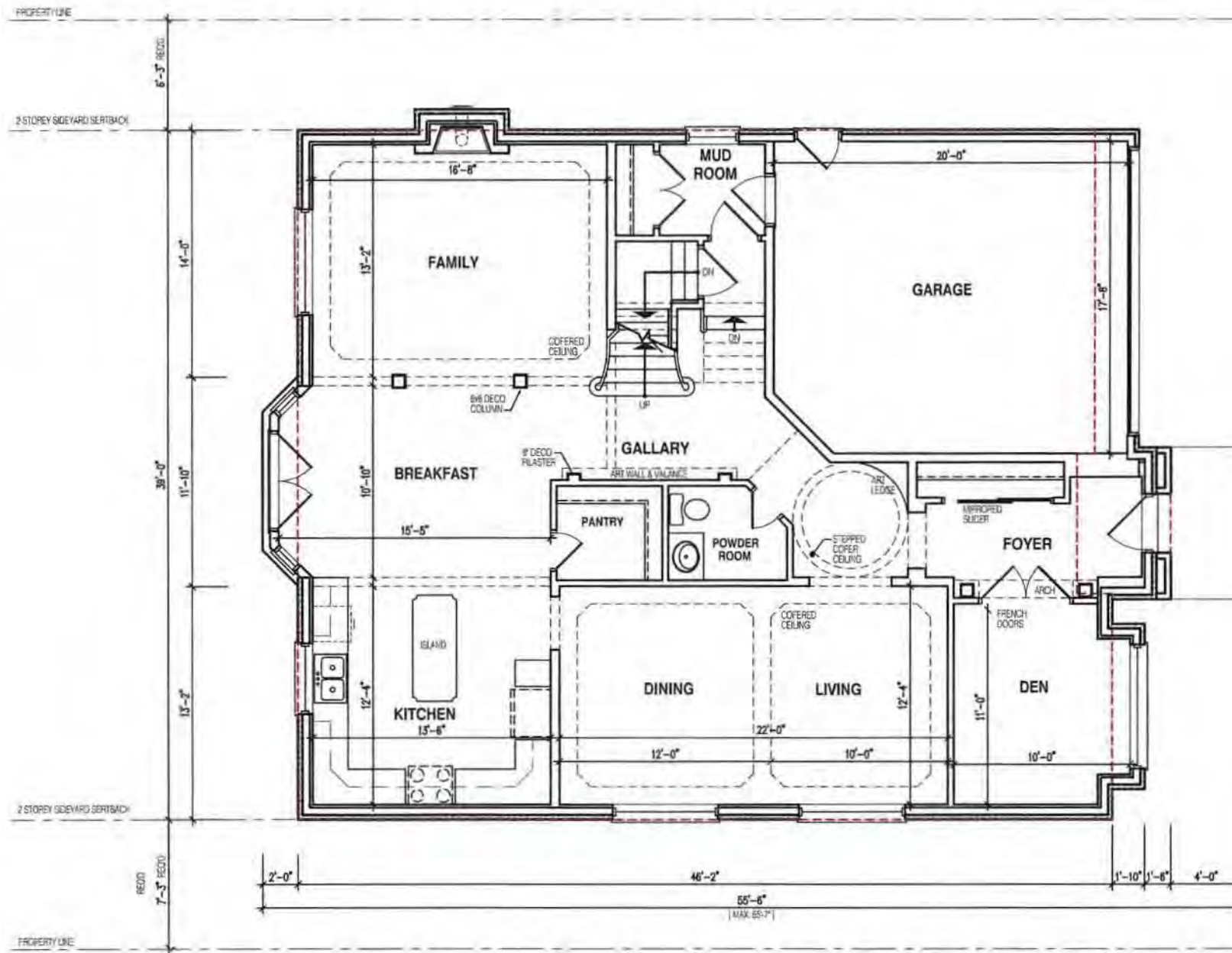


LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

7	
6	
5	
4	
3	
2	NOV 17, 2011 FOR SPA SUBMISSION
1	NOV 06, 2011 ELEV'S FOR CLIENT REVIEW
Rev	DATE WORK DESCRIPTION
<b>jardin</b> DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
CUSTOM HOME MISSISSAUGA, ONTARIO	
	TYPE CUSTOM
	SCALE: 1/8" = 1'-0"
PROJECT No.	DWG. No.
11-67	



**3271**

FIRST FLOOR	= 1518 sf
SECOND FLOOR	= 1760 sf
OPEN SPACE	= 7 sf
TOTAL FLOOR AREA	= 3271 sf
GARAGE AREA (not included above)	= 348 sf
MAX. COVERAGE	= 2759 sf
	= 256.35 m <sup>2</sup>
COVERAGE	= 1933 sf
W/PORCH	= 179.30 m <sup>2</sup>
MAX. GFA	= 3621 sf
	= 336.48 m <sup>2</sup>
FIRST FLOOR GFA (incl. garage)	= 1866 sf
SECOND FLOOR GFA	= 1763 sf
GROSS FLOOR AREA (incl. Garage)	= 3619 sf

7	
6	
5	JAN. 26, 2012 REVO PER ZONING COMMENTS
4	NOV 17, 2011 FOR SPA SUBMISSION
3	OCT. 27, 2011 ADJUST TO 2nd FLR GFA
2	OCT. 24, 2011 WIDEN FOYER + DR @ DEN
1	OCT. 20, 2011 GROUND FLOOR PLAN
Rev	DATE: WORK DESCRIPTION:

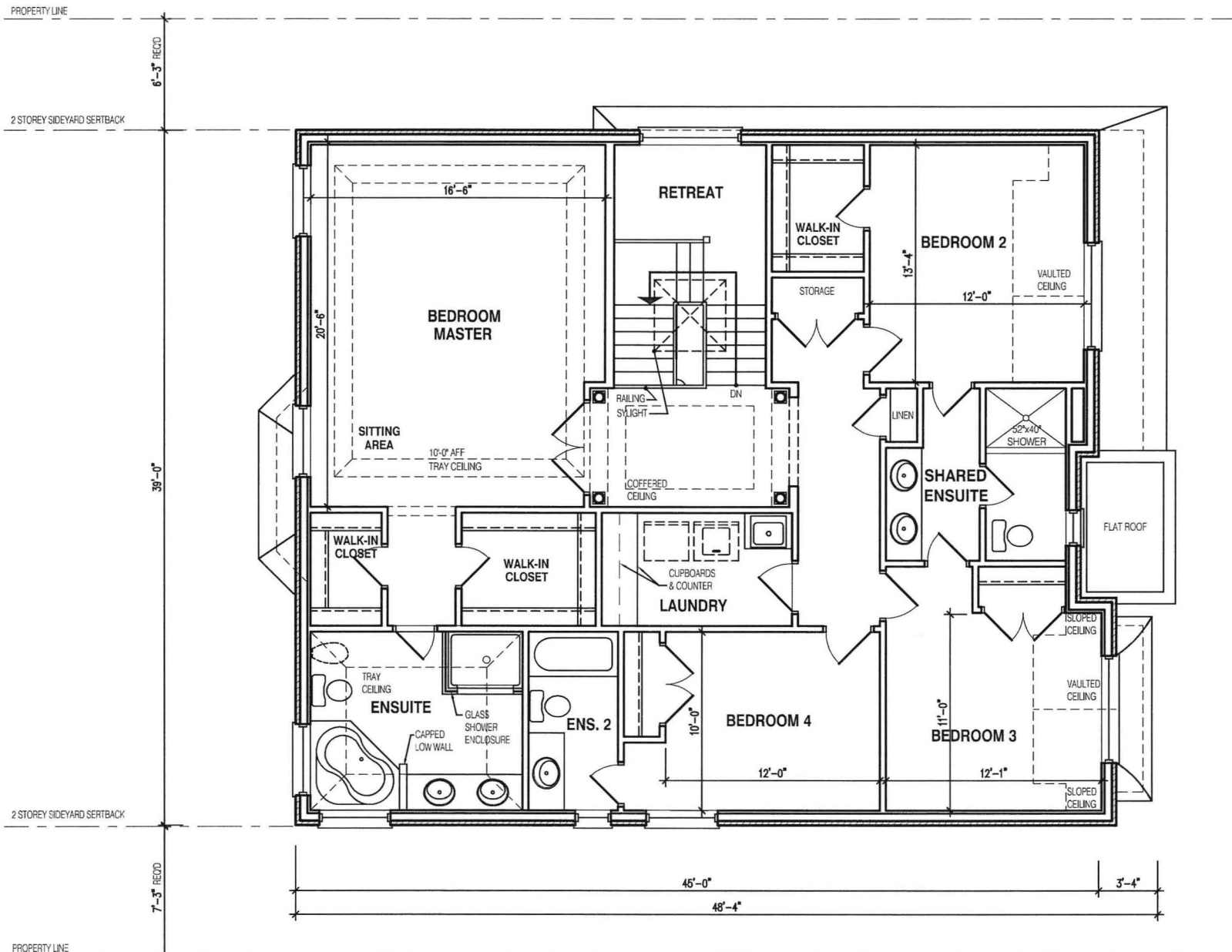
**jardin**  
 DESIGN GROUP INC  
 64 JARDIN DR, SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

CUSTOM HOME  
 MISSISSAUGA, ONTARIO

	TYP	CUSTOM
	SCALE	1/8" = 1'-0"
	PROJ. No.	11-67
	DWG. No.	

**GROUND FLOOR PLAN**





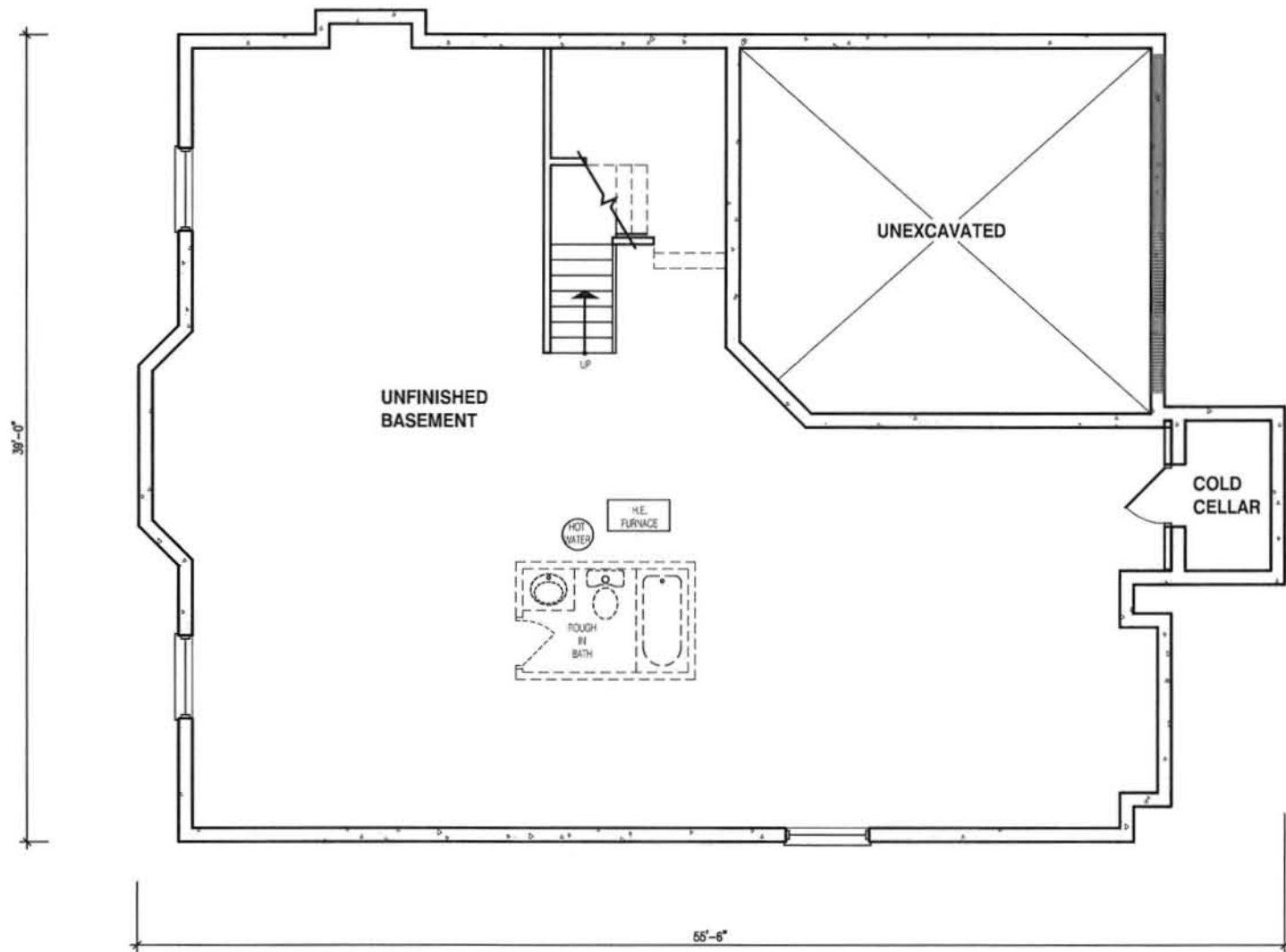
**SECOND FLOOR PLAN**

7	
6	
5	
4	JAN. 26, 2012 REVD PER ZONING COMMENTS
3	NOV 17, 2011 FOR SPA SUBMISSION
2	NOV. 08, 2011 GENERAL REVISIONS
1	OCT. 27, 2011 2nd FLR FOR CLIENT REV
No:	DATE: WORK DESCRIPTION:

**jardin**  
**DESIGN GROUP INC**  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

CUSTOM HOME  
 MISSISSAUGA, ONTARIO

	TYPE	CUSTOM
	SCALE:	1/8" = 1'-0"
	PROJ. No.	DWG. No.
	11-67	



**BASEMENT FLOOR PLAN**

7	
6	
5	
4	
3	
2	
1	FEB. 2, 2012 FOR SPA SUBMISSION
No:	DATE: WORK DESCRIPTION:

**jardin**  
 DESIGN GROUP INC  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

CUSTOM HOME  
 MISSISSAUGA, ONTARIO

	TYPE CUSTOM
	SCALE: 1/8" = 1'-0"
PROJ. No. 11-67	DWG. No.



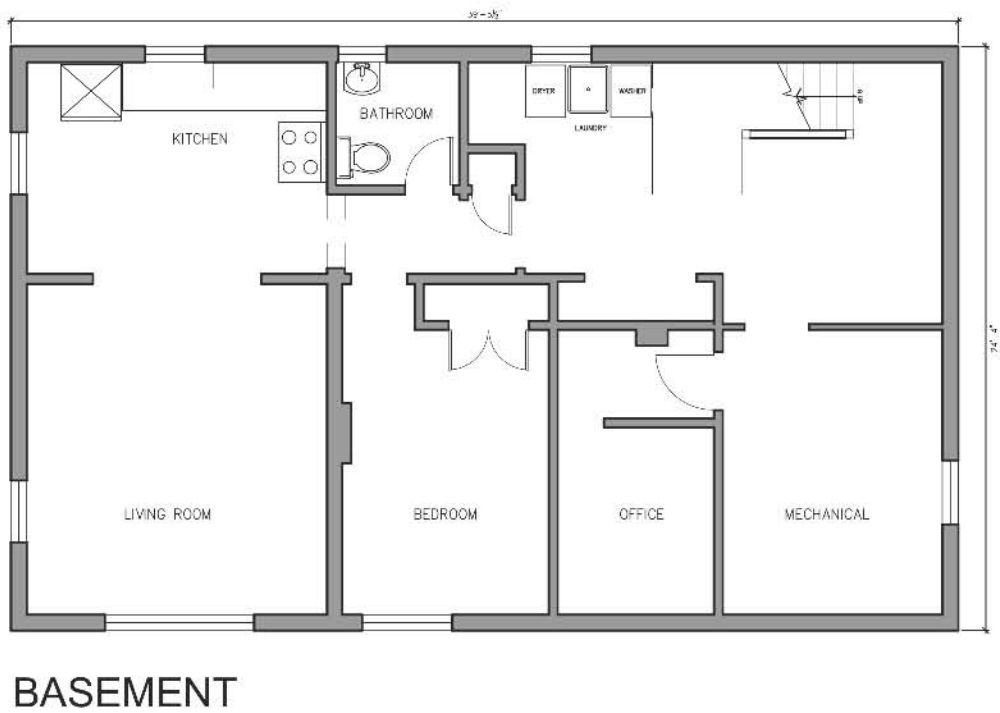
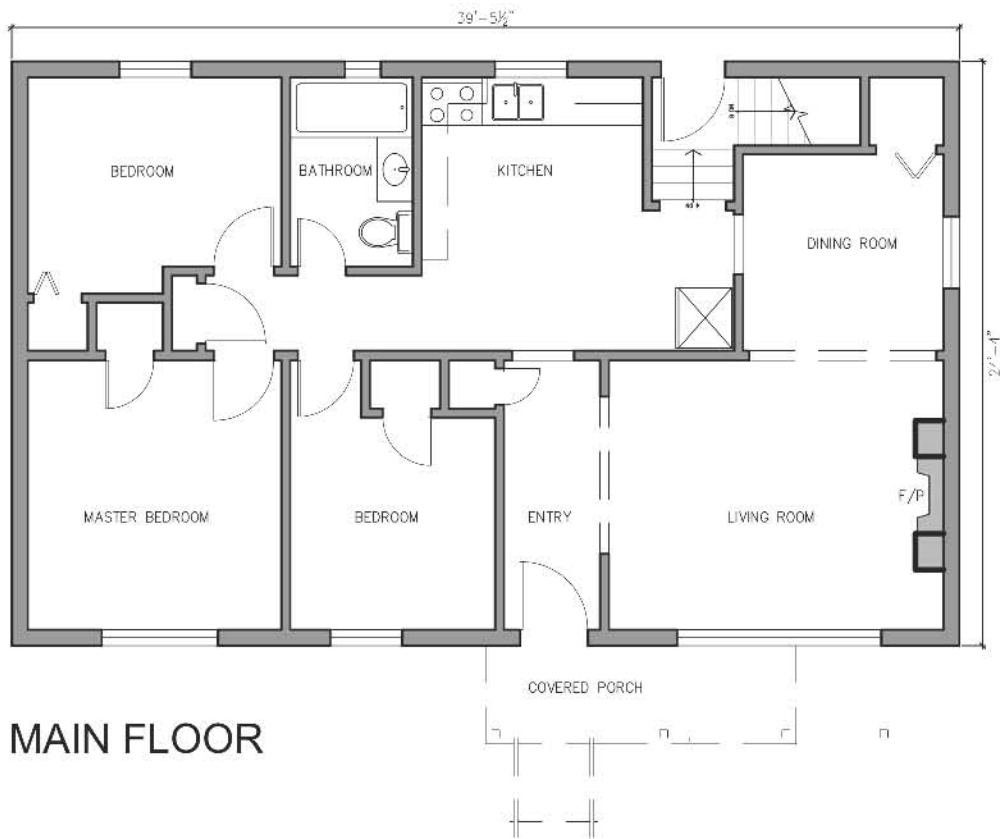
**STREETSCAPE: NEW HOUSE IN CONTEXT**  
47 ORIOLE AVENUE, MISSISSAUGA, ON      SCALE: 1/16"=1'



**STREETSCAPE: EXISTING HOUSE IN CONTEXT**

47 ORIOLE AVENUE, MISSISSAUGA, ON

SCALE: 1/16"=1'



**EXISTING FLOOR PLANS**

47 ORIOLE AVENUE, MISSISSAUGA, ON SCALE: 1/16"=1'

# RICK MATELJAN

3566 Eglinton Avenue W., Mississauga, ON  
(t) 416 315 4567 (e) rick.mateljan@smda.ca

## curriculum vitae

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### Education:

- |              |  |
|--------------|--|
| 1978-1983    | Trinity College, University of Toronto <ul style="list-style-type: none"><li>B. A. (4 year) (Specialist English, Specialist History)</li></ul>   |
| 1994-1995    | Architectural Technology courses, Ryerson Polytechnic University <ul style="list-style-type: none"><li>detailing of residential and institutional buildings, OBC, technical and presentation drawing</li></ul> |
| 1997-present | Royal Architectural Institute of Canada Syllabus Program <ul style="list-style-type: none"><li>program of study leading to a professional degree in architecture (ongoing) (non-active since 2006)</li></ul>   |
- 

### Employment:

- |             |  |
|-------------|--|
| Present     | Strickland Mateljan Design Associates (Partner) <ul style="list-style-type: none"><li>co-founded new architectural design business specializing in custom residential and small commercial projects</li><li>share equal responsibility for management, business development, marketing and project delivery</li><li>specialist responsibilities in municipal approvals, heritage approvals</li><li>Ontario Licensed Designer (Small Buildings)</li></ul>   |
| 2001 - 2010 | Gren Weis Architect and Associates, Designer and Project Manager <ul style="list-style-type: none"><li>design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdiction</li><li>extensive client, consultant and building site involvement</li><li>extensive experience in multi-disciplinary team environments</li><li>specialist at Committee of Adjustment and Municipal Approvals</li><li>specialist at renovation and conservation of Heritage buildings, infill developments in Heritage communities</li><li>specialist on issues of Heritage Approvals</li><li>specialist at processing and representation at Site Plan and re-zoning approvals</li><li>corporate communication, advertising and photography</li></ul> |
| 1993-2001   | Diversified Design Corporation, Owner  |

- conceptual design, design development, working drawings, approvals and construction for a variety of residential, institutional and commercial projects; staff training and development; site supervision; negotiation with and supervision of sub-contractors

---

Recent professional development:

2011	OAA – Admission Course
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	Qualified to give evidence before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

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Activities:

2011-present	Member, Editorial Committee, OAA Perspectives magazine
2008-present	President, Board of Directors of Oakville Galleries
2007-present	Member, Mississauga Heritage Advisory Committee and member of the Heritage Award jury
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)
1998-2002	Administration Co-ordinator and Student Representative, RAIC Syllabus Student’s Association, Toronto Chapter <ul style="list-style-type: none"> <li>• organization of design studios, liaison with mentors, students and RAIC National Office</li> </ul>

---

Memberships:

Royal Architectural Institute of Canada – Student Associate  
Ontario Association of Architects – Student Associate  
Canadian Association of Heritage Professionals – Intern  
Ontario Association of Certified Engineering Technicians and Technologists  
– Certified Technician  
Ontario Association for Applied Architectural Sciences - Associate

176 GEORGIAN DRIVE • OAKVILLE • ONTARIO • L6H 6T8  
PHONE (905) 257-7515 • E-MAIL [ALI.CARLO@COGECO.CA](mailto:ALI.CARLO@COGECO.CA)

## ALISON STRICKLAND - RESUME

### WORK EXPERIENCE

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Dec 2010 – Present: Strickland Mateljan Design Associates, Oakville, Ontario

#### ***Principal***

- Co-founded new architectural design partnership, aimed at all branches of architectural design and building types, including predominantly residential and commercial projects.
- Share equal responsibility for all managerial decision-making, business development and marketing strategies.
- Individual distinguishing specialty in interior architectural design and finishes.

Feb 1999 – Nov 2010: Gren Weis Architect & Associates, Oakville, Ontario

#### ***Project Architect***

- Directly involved with all levels of architectural service from inception to completion.
- Facilitate client articulation of needs, aspirations and expectations.
- Work independently as well as collaboratively in a team environment to develop customized design solutions
- Prepare & deliver presentations to individuals and groups to illustrate how design solutions will satisfy client needs
- Effectively source and research products and materials for exterior and interior finishes
- Prepare and oversee documentation of detailed construction drawings and specifications
- Successfully steer proposals through municipal and regional approval processes
- Analyze, review and co-ordinate external consultant documentation
- Direct contractor qualification and negotiate construction budgets and schedules
- Perform on-site project review and contract administration with detailed documented back-up and reports
- Manage multiple projects simultaneously by prioritizing and delivering to deadline commitments
- Gained wide range of project experience though involvement with high end residential, commercial and institutional projects; new development and refurbishment
- Maintain a high level of written & verbal communication on daily basis with clients, consultants & staff to navigate construction process



smoothly

- Developed and lead interior design department into significant income generating component of company services.

Jan 1996 – Oct 1998 KMH Architects, Cape Town, South Africa

**Project Architect.**

- Responsibilities included concept development, design development, technical documentation, contract administration, and project review. Projects included custom residential, recreational, institutional, historical and semi-industrial development.
- Awarded sole assignment as office space planner for large investment company: successfully re-planned and refurbished numerous floors of challenging inter-leading building complex

Feb 1994 – Dec 1995 The Architecture Shop, Cape Town, South Africa

**Architect**

- Work included sketch plan designs and working drawings on custom residential projects as well as subdivision developments.
- Mastered first CAD programme through self-instruction.

## EDUCATION

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1992 **Bachelor of Architecture**, University of Port Elizabeth, South Africa

1989 **Bachelor of Building Arts**, University of Port Elizabeth, South Africa

## PROFESSIONAL AFFILIATIONS

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Royal Architectural Institute of Canada

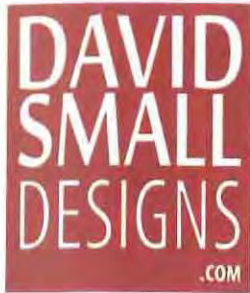
## LANGUAGES

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English – fluent

French – intermediate

Afrikaans – fluent



Heritage Advisory Committee  
MAY 22 2012

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## Heritage Impact Statement

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**2494 Mississauga Road  
Mississauga ON L5H 2L5**

**April 12, 2012**

**Report prepared by David W. Small**

David W. Small

## Table of Contents

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## Section 1 | Introduction

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### Author:

David W. Small Designs Inc. is a custom home design firm that specializes in infill housing. (i.e. redevelopment of properties in existing mature neighborhoods). David Small was born to design houses as he grew up watching and learning from his Father and Grandfather who were builders and developers. Growing up with such a 'heritage of housing' David's passion for the business was ignited and this passion led him to where he is today.

Over the past decade, David W. Small Designs Inc. recognizes what heritage is and what it means because as a firm we have done our research and have been involved in the design of over 80 new homes and renovations within cultural landscapes of the area. When designing these custom homes, David takes into consideration the heritage and the cultural landscape in question. The success of the firm is largely based on developing "neighbourhood sensitive" designs that respect the integrity of the existing natural and currently constructed surroundings.

The firm has successfully prepared heritage impact statements for the City of Mississauga for properties listed in numerous cultural landscapes for the last 4 years. Through the preparation of nearly 20 "H.I.S" documents David W. Small Designs has acquired a clear understanding of cultural within the City of Mississauga.

David W. Small Designs Inc has successfully completed "H.I.S" documents for the following properties located in Mississauga:

1. 1285 Stavebank Road – May 2008
2. 1397 Birchwood Height Drive – July 2008
3. 1443 Aldo Drive – July 2008
4. 1524 Douglas Drive – September 2008
5. 142 Inglewood Drive – September 2008
6. 1379 Wendigo Trail – September 2008
7. 1570 Stavebank Road – October 2009

8. 224 Donnelly Drive – October 2009
9. 125 Veronica Drive – January 2010
10. 64 Veronica Drive – February 2010
11. 1248 Vista Drive – March 2010
12. 1380 Milton Avenue – April 2010
13. 1448 Stavebank Road – July 2011
14. 1362 Stavebank Road – August 2011
15. 277 Pinetree Way – January 2012
16. 500 Comanche Road – March 2012
17. 162 Indian Valley Trail – March 2012

**Relevance of Heritage Impact Statement:**

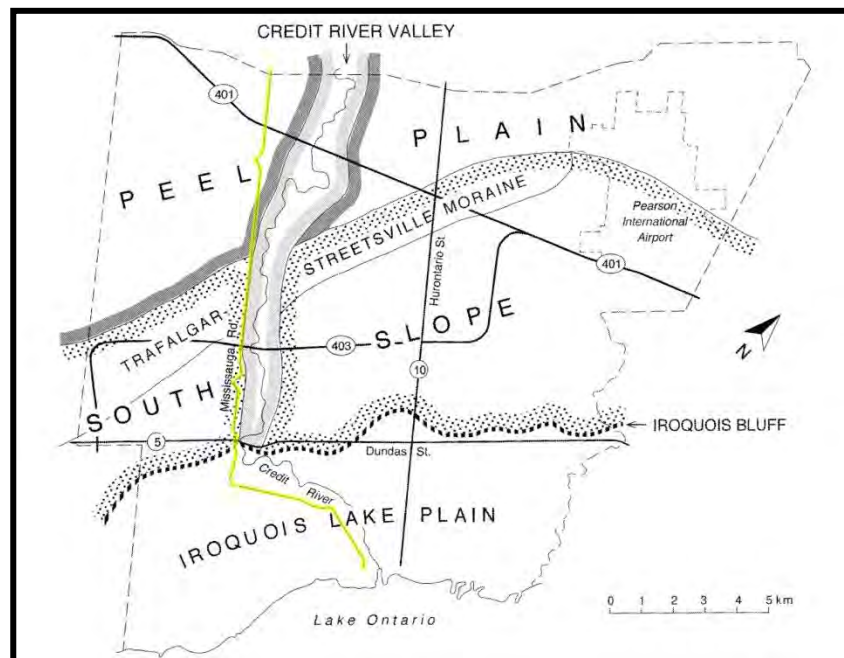
The subject property is located in the Lorne Park neighbourhood and is within the “Mississauga Scenic Route” cultural landscape. As such, it is listed on the City of Mississauga’s heritage register but it is not designated.

## Section 2 | Property Overview

### Mississauga Road Scenic Route:

Mississauga Road extends from as far North as Caledon and runs South to Lake Ontario. Throughout Mississauga; Mississauga Road runs along the West side of the Credit River. The road is home to varying topography, varying land uses and some of the City's oldest vegetation. The majority of Mississauga Road falls into what was previously known as the "Credit Indian Reserve" (CIR). The CIR was part of a land sale by the Mississauga Indians to the British Government in 1805. The sale included the lands stretching from Lake Ontario to a lake 6 miles inland, but excluded a strip of land one mile each side of the Credit River which was reserved for the Mississaugas'. Mississauga Road was known to be a regular trade route due to its close proximity to the Credit River.

### Physiographic units of Mississauga:



Mississauga's Heritage: The Formative Years, City of Mississauga, 1983

■ - Indicates the Culture Landscape

**Current City of Mississauga Map:**



Property Base Map of South of QEW West of Credit River:



Aerial Map:





## The Mississauga Road Scenic Route Cultural Landscape:

“Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the North to a curvilinear alignment in the South following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville South the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.” – Excerpt from City of Mississauga Cultural Landscape Inventory F-TC-4



Erindale circa 1895 – Dundas Street and Mississauga Road, Looking East  
Heritage Mississauga – Image Gallery

## The Mississauga Road Scenic Route is Unique in Several Ways:

### Topography:

As the Cultural Landscape extends along Mississauga Road, from as far South as



The Credit River flowing through the Credit Valley and Golf and Country Club  
Mississauga's Heritage: The Formative Years, City of Mississauga, 1983

Lakeshore Road to as far North as Streetsville, its varying topography is quite noticeable. In the Southern stretches of the road, properties to the East back onto the Credit River Corridor, in which the land drastically falls off towards the River.



Mississauga Road looking South, South of Dundas - Google Maps

In the stretch of Mississauga Road between the QEW and Dundas Street, the Mississauga Golf and Country club backs onto Mississauga Road. This provides unique topography as the Credit

River meanders through it. For a small stretch just South of Dundas Street Mississauga Road is cut into the Credit River Corridor with steep banks on either side of the road. This area features some of Mississauga's most unique topographical features.

### Varying Land Use:

Mississauga Road houses a very wide variety of land use designation. As far South where the Road starts is light commercial with a mix of multi and single family residences.



Faras Residence circa 1840 – 5306 Mississauga Road  
Heritage Mississauga – Image gallery

It is in this area where the Old Credit Brewing Company Ltd is located. Heading North beyond the CNR line is large estate lots for single-family dwellings of which the ones to the East back onto the Credit River. Beyond the QEW for a stretch of nearly 2 km the Mississauga Golf and Country club backs onto Mississauga Road.

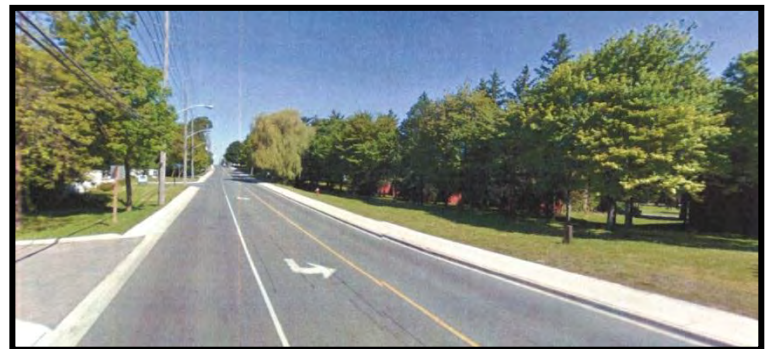
Beyond the Golf club is another high-end residential neighbourhood that stretches to Dundas Street for approximately 3 km. Located just North of Dundas is the University of Toronto Mississauga Campus and more residential neighbourhoods. Overall, the cultural landscape rapidly changes over its stretch between Lakeshore and Streetsville from varying land uses most of which are home to some of Mississauga’s most sought after residential neighbourhoods.



St. Peter's Anglican Church circa 1910 – Located at the corner of Mississauga Road and Dundas Street. - Heritage Mississauga – Image Gallery

**Vegetation:**

As Mississauga Road breaks from the typical grid layout and forms the bank of the Credit River below Dundas Street it stretches through some of the City’s largest naturally



Mississauga Road looking North at University of Toronto. Mississauga Campus.

Google Maps



forested areas.

This area is home to some of the City's oldest trees and is tightly associated with the natural areas of the Credit River. This is clear when observing this area's current aerial photography.



Aerial Photo highlighting the Mississauga Road Scenic Route  
Google Map

## Section 3 | Property Details

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<b>Municipal Address</b>	2494 Mississauga Road
<b>Legal description</b>	Part Lot 12, Range 3 CIR
<b>Municipal Ward</b>	8
<b>Zoning</b>	R 1 (0225-2007)
<b>Lot Frontage</b>	25.46
<b>Lot Depth</b>	75.54 m
<b>Lot Area</b>	1923.17 (0.192ha)
<b>Orientation</b>	Front facing West
<b>Type</b>	1 Storey single family dwelling
<b>Vegetation</b>	Several mature trees located throughout site.
<b>Access</b>	Existing linear asphalt driveway.
<b>Current Property Owner</b>	Mourad Hanna (416-270-7872)

### Parcel Register:

Information gathered from the Ontario Land Registry office for the Region of Peel indicates the chain of ownership from April 5, 1855 to current. The information provided has been acquired through the use of microfilm archives along with current Land Title search. The following ownership transfers have taken place since the earliest records of the property on title.

1. The Crown – Granted to Frederick Chase Capreol C.I.R Lot 12 Range 3 (April. 5/1855)
2. Frederick Chase Capreol transferred to Henery McGill. (Dec.9/1861)
3. Henery McGill transferred to William McGill (Nov.19/1863)  
(The above informaton is taken from the Toronto township book A).
4. William McGill transferrred to Mary Ann Gable (Nov.16/1868)
5. Mary Ann Gable to Oliver Gable (Feb.25/1907)
6. Oliver Gable transferred to George B. Mc Quarrie (Dec.31/1929)  
(The above was taken from the Toronto township book B).
7. George B. Mc Quarrie transferred to Hazel Mc Quarrie (Dec.31/1929)  
(The above was taken from the Toronto township book C).
8. Hazel Mc Quarrie transferred to Jean A. Corbett and Auther O. Corbett (Oct.13/1943)
9. Jean A. Corbett and Auther O. Corbett transferred to Samuel J. Churchill and Elna Churchill (Nov.4/1948)
10. Samuel J. Churchill and Elna Churchill transferred to Roy Miller and Agnes Miller (Oct.3/1955)
11. Roy Miller and Agnes Miller transferred to Hi Way Construction Company Limited (May.9/1959)
12. Hi Way Construction Company Limited transferred to Platiam Investments Limited (May.8/1961)

13. Platiam Investments Limited transferred to Charles B. Peck (Nov.20/1964)

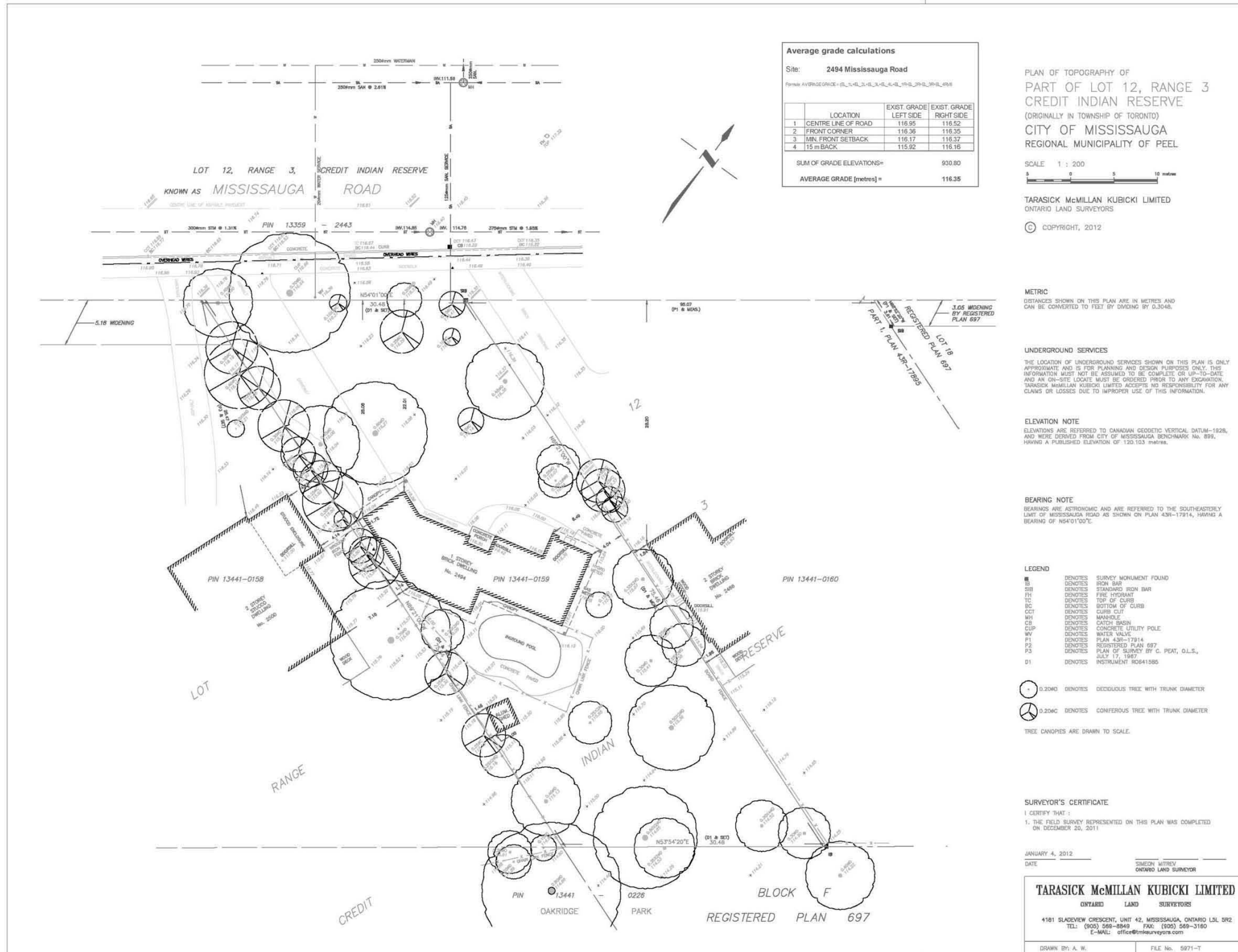
Charles B. Peck was of no one significant in Mississauga. In 1964 he purchased land from Platiam Investments Limited and later in 1978 he and an unknown builder designed and built the House that Charles B. Peck lived in for a significant time of his life. Today Charles B. Peck lives in a care home suffering with Alzheimer's. We have aquired some information about Charles B. Peck, it is belived that he was married twice; both of which ended in divorce. We also believe that he has three chidren one that we know of is named David Peck. Charles worked as a taxi driver and he owned a bar in St.Catherines Niaraga, Ontario. We were unable to come into direct contact with Charles B. Peck, but we were able to come into contact with Myriam Kartner and her son-in-law Peter Donald Luciani. Myriam lived next door to Charles for 40 years and Peter purchased the property from Charles B. Peck through his son David Peck.

14. Charles B. Peck transferred to Peter Donald Luciani (Aug.30/2011)

15. Peter Donald Luciani transferred to Mourad Hanna – Current Owner (Mar.30/2012)

(The above was taken from the Toronto township book D).

**Subject Property Topographical Survey:**



## Section 4 | Building Details

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### Exterior Photos



Front Elevation



Rear Elevation





Right Side Elevation



Left Side Elevation



Stone wall extent of Fireplace



Side door entry to Kitchen



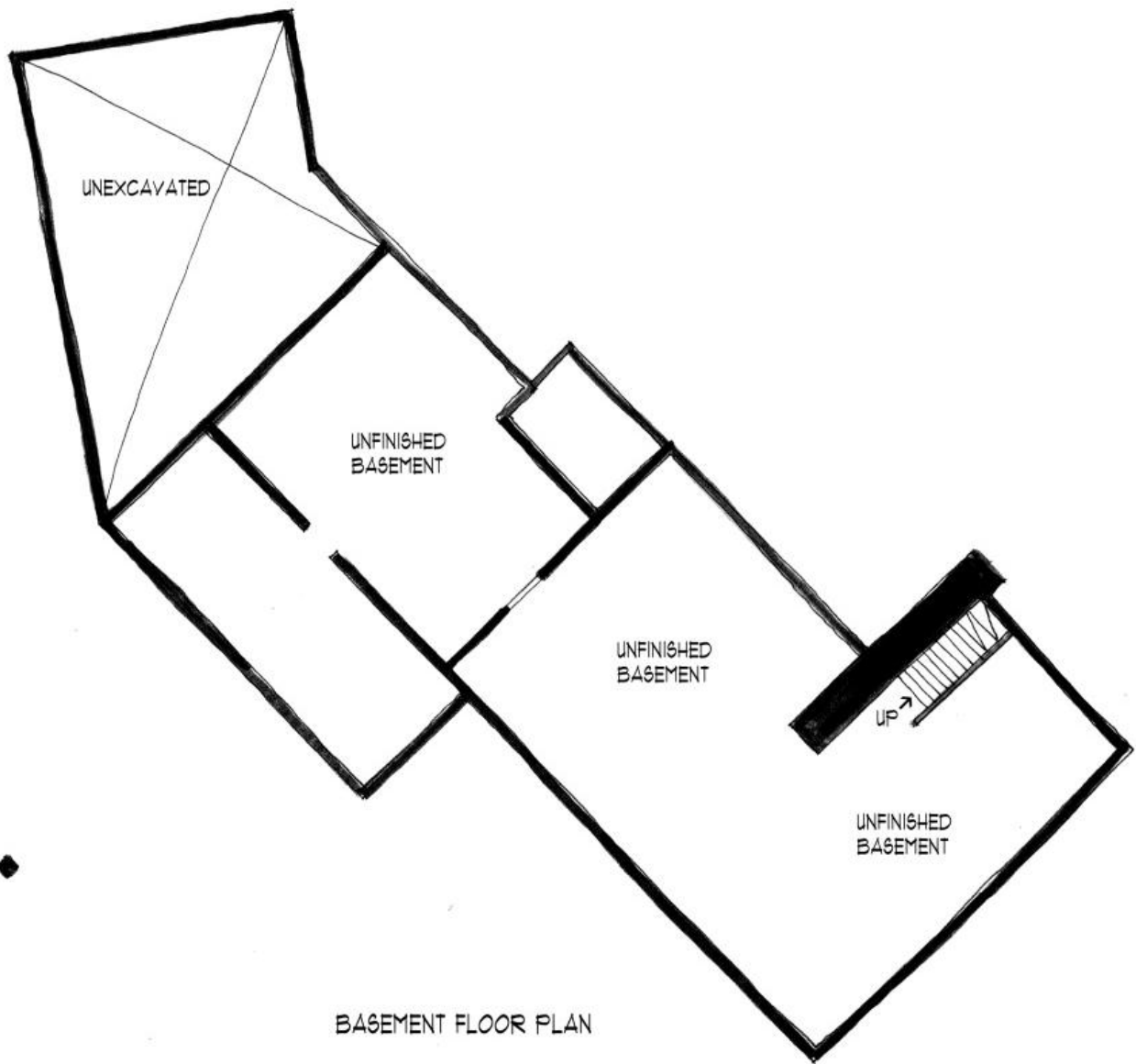
Left Side View



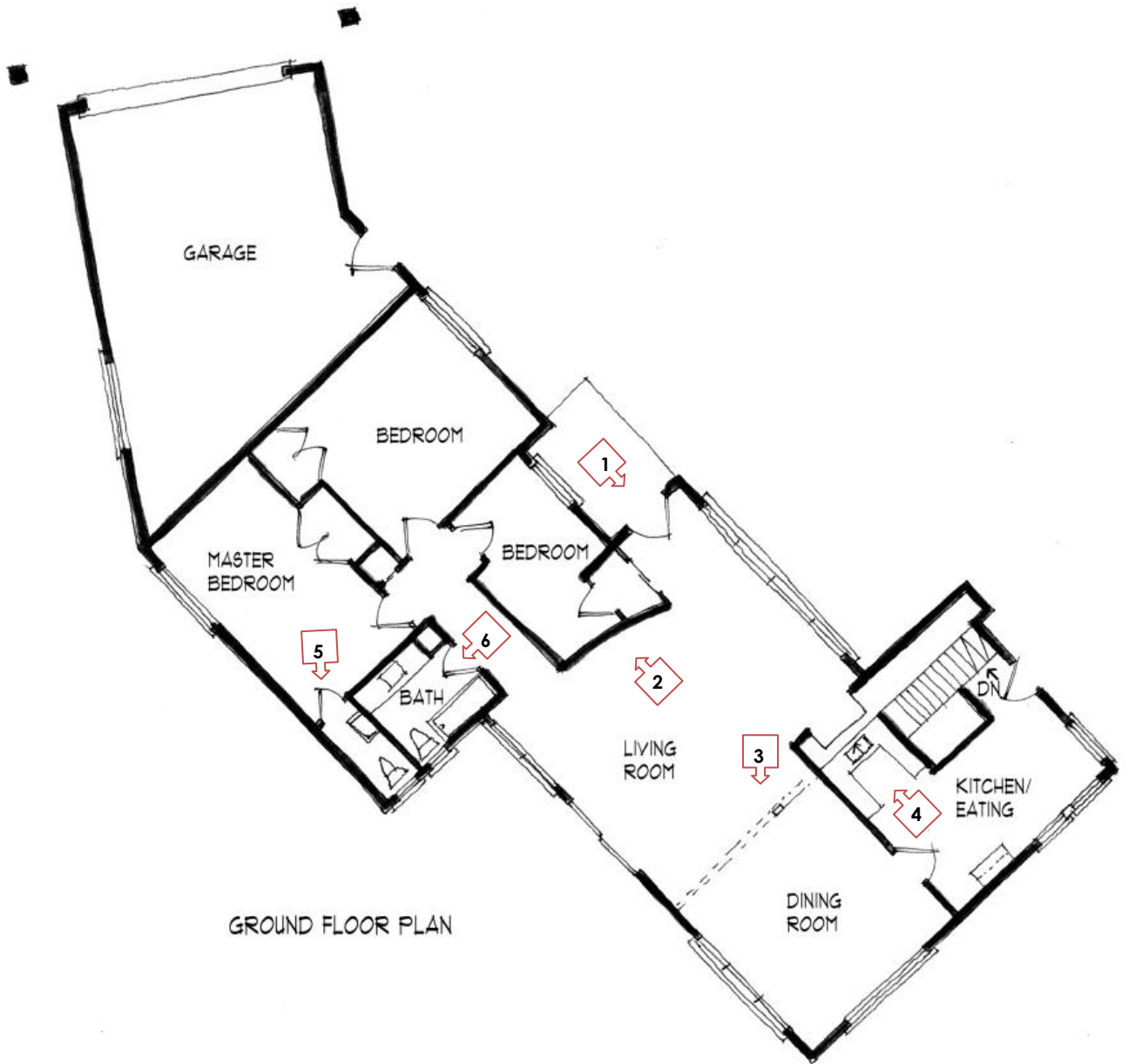
Rear View

Sketch – Existing Floor Plans (not to scale)

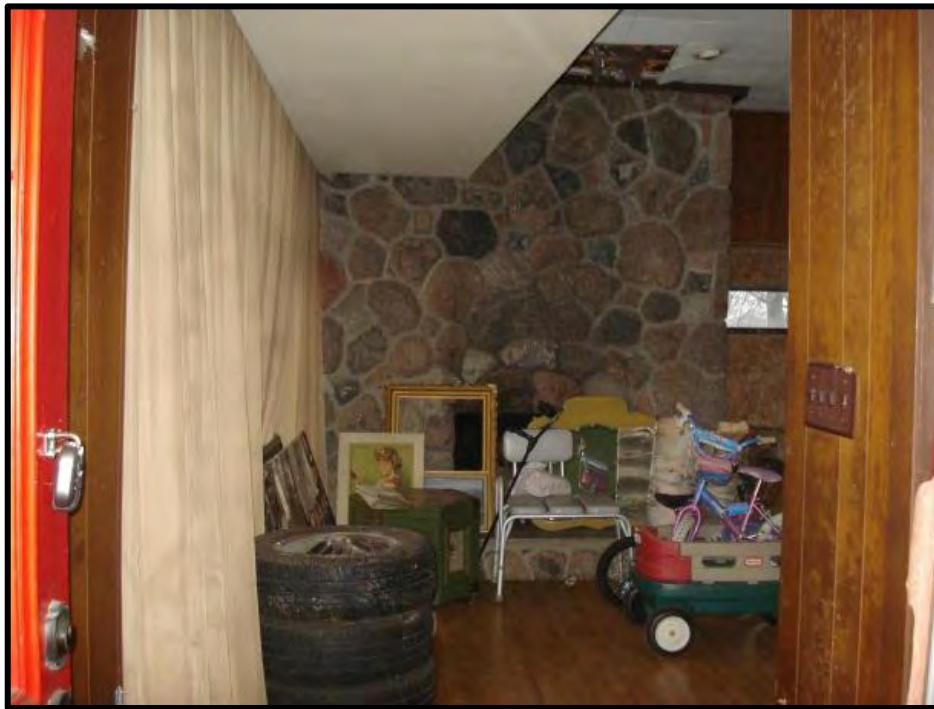




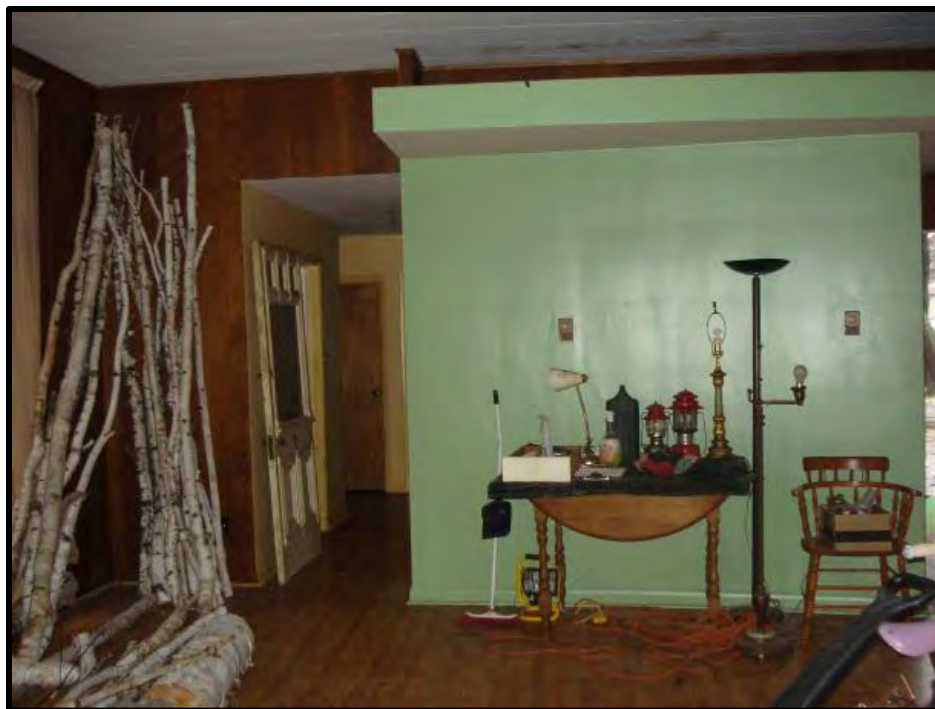
Sketch - Interior Photo reference Plan (not to scale)



## Interior Photos



Interior Photo 1 - Entrance



Interior Photo 2 - Living Room



Interior Photo 3 – Dining Room



Interior Photo 4 – Kitchen





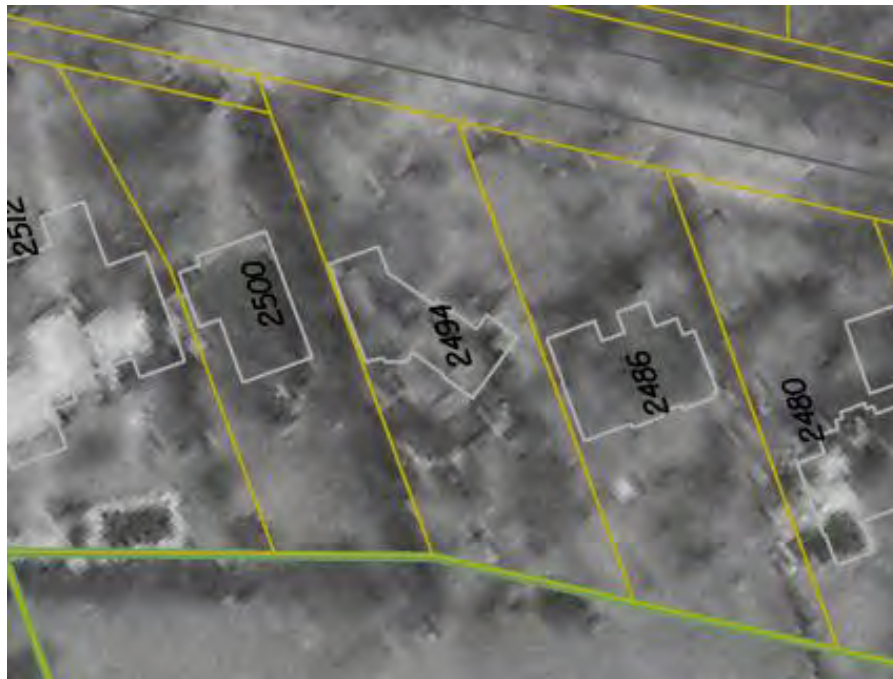
Interior Photo 5 – Master Bedroom



Interior Photo 6 – Main Bath

## House Description:

<b>Construction Date</b>		Approx. 1978
<b>Size</b>		Approx.2000 sf including attached garage
<b>Building Type</b>		1 Storey single family dwelling
<b>Wall Construction</b>		Wood frame & Concrete block
<b>Exterior Cladding</b>		Brick & Stone
<b>Roofing Material</b>		Rubber membrane & Siding
<b>Setbacks House</b>		Front Yard – 22.01
		Right Side – 1.72 m
		Left Side – 4.04 m
		Rear Yard – 25.41 m



Aerial Photo – 1980 Lot 2494 Mississauga Road.

City of Mississauga Maps

## Alterations to the Original House

We have made reference to the City of Mississauga permitting records and the City has no record of any alterations to the existing dwelling. Through discussing with Heritage Mississauga and with close examination of the aerial image provided by the City of Mississauga, it is thought that a dwelling did exist on this property in 1978 when it was built. Upon review of City records, a permit was issued for construction of a new single family dwelling on October 26, 1978. Regardless, it does not appear that there have been any alterations to the existing dwelling.

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
BP 9NEW 12 460	2494 MISSISSAUGA RD	NEW BUILDING	
2012-02-24	NEW SFD & DEMO OF EXISTING	DETACHED DWELLING	APPLICATION IN PROCESS
HC 78 327752	2494 MISSISSAUGA RD		1978-10-26
1978-09-07	SINGLE FAMILY DWELLING CODE: 4804		HISTORY COMMENT PERMIT

## **Analysis of Existing Structure**

The existing home is representative of circa 1960's vernacular 1 Storey with attached garage. The home does not display any outstanding degree of craftsmanship, technical achievement and has only moderate artistic merit.

The existing home is not known to represent significance related to theme, event, belief, person, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

The existing home plays a moderately significant role in its support of the character of the area as its massing and scale are similar to the adjacent homes on Mississauga Road.

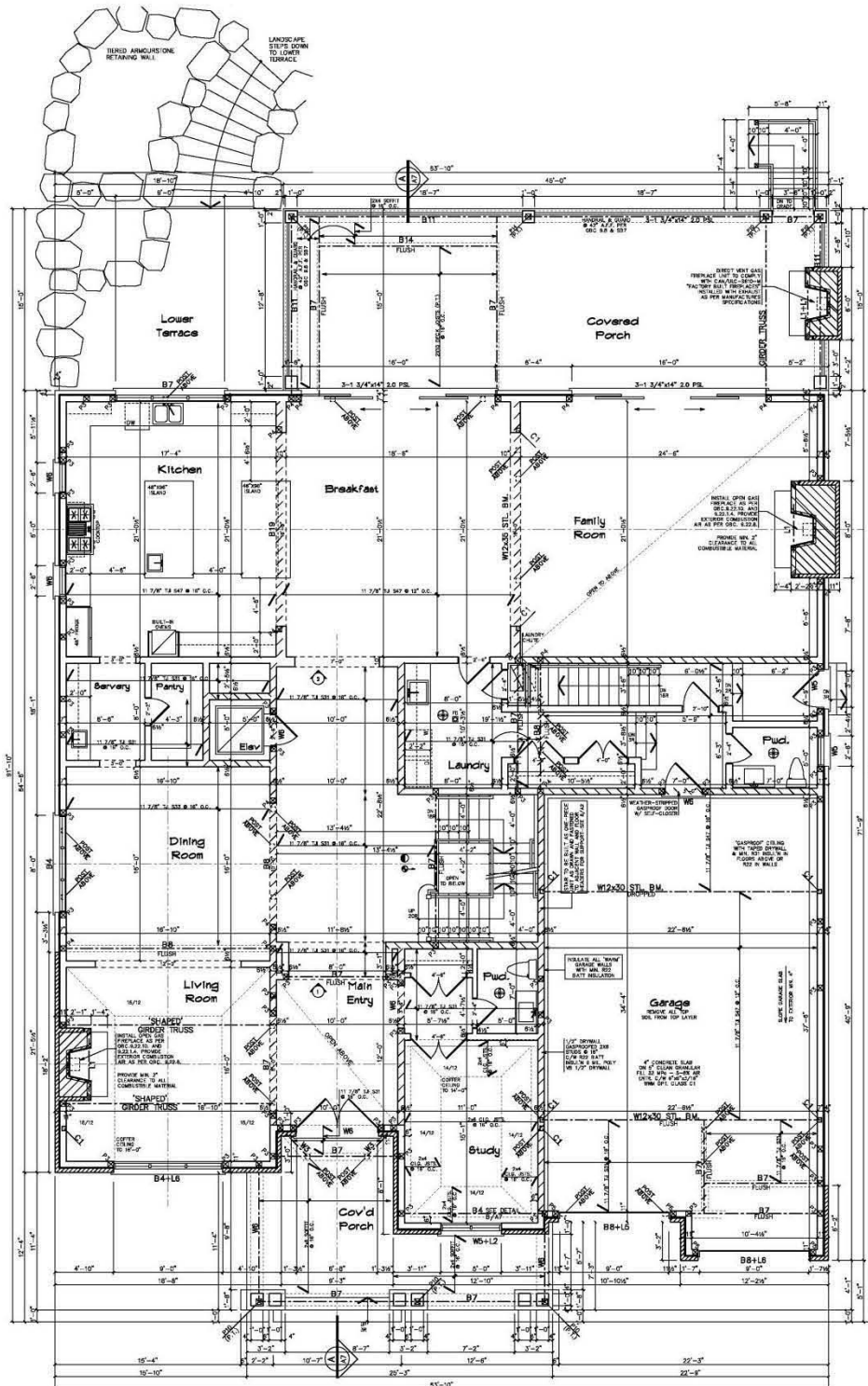
## Section 5 | Development Proposal

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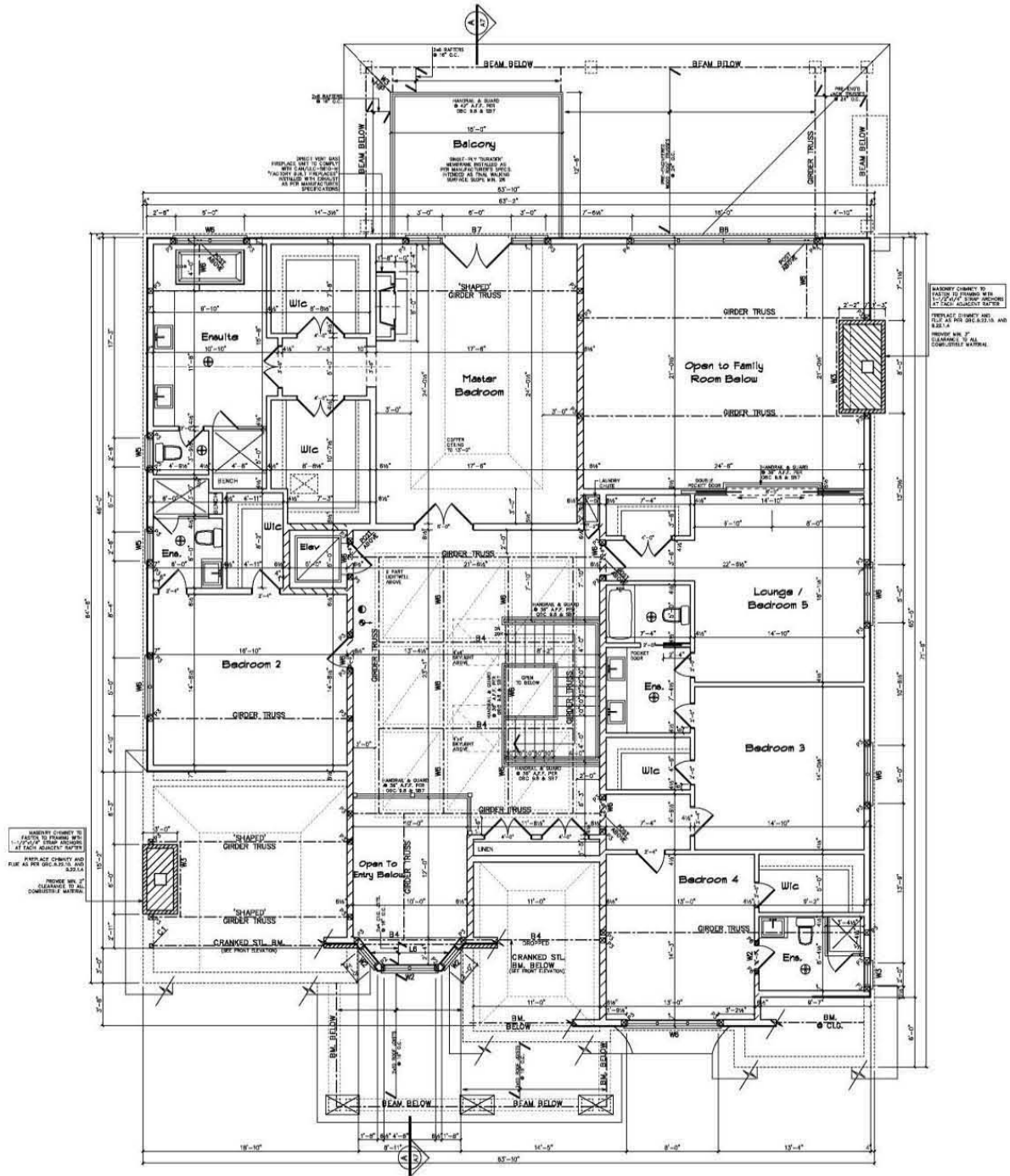
### Site Development Plan



# Proposed Ground Floor Plan:



# Proposed Second Floor Plan



Proposed Elevations:



Streetscape Elevation





## Section 6 | Conclusion

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The proposed home at 2494 Mississauga road has been designed with similar massing characteristics of other homes on Mississauga Road and adjacent streets throughout the neighborhood. Although the massing of the proposed home does not represent the immediate adjacent neighbors the house has been designed in a manner in which it can successfully cohabitate with the existing dwellings.



View from existing side lot towards front of lot

The scale of the proposed dwelling is similar to other dwellings located throughout the neighborhood. As seen on the streetscape sketch in Section 5 of this report this area is home to mature foliage throughout the property. This provides screening between the proposed dwelling and the immediate adjacent structures.



View from rear yard

The majority of existing mature trees have been preserved through the development with the exclusion of trees in direct conflict with the plan. Through the development, replacement trees will be planted as required and determined by the Urban Forestry department. The existing driveway access will be retained along Mississauga Road, with a secondary driveway access point as shown in this area along Mississauga Road.



Photo 1 – View from street looking South



Photo 2 – View from street looking North



Photo 3 – View from street looking West



Photo 4 – View from street looking East

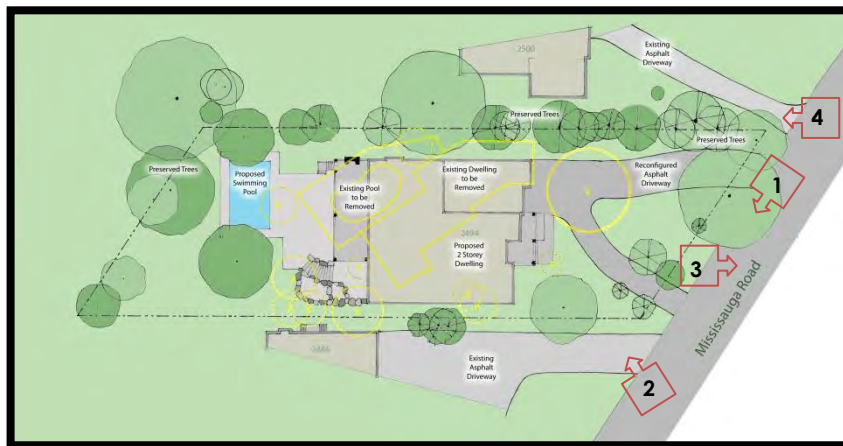


Photo Reference Plan

The proposed home respects the Mississauga Road Scenic Route Cultural Landscape’s characteristics and is consistent with all planned redevelopment efforts throughout the area.

### **Summary Statement and Conservation Recommendations:**

The existing 1 storey dwelling located at 2494 Mississauga Road has not been designated under the heritage register, however the property has been listed on the register under the Mississauga Road Scenic Route Cultural landscape. The impact of the proposed development has been taken into consideration when designing both the proposed home and the natural preservation of streetscape presence. The proposed dwelling style relates to that of the neighbourhoods housing stock as it represents traditional architecture with varying rooflines. The placement of the proposed dwelling maintains alignment with the streetscape. The proposal does not contravene the intentions of the Mississauga Road Scenic Route listing. For the aforementioned reasons we are certain that conservation or alternative development measures are not appropriate for the subject property.

**Mandatory Recommendation:**

As per criteria set out in Regulation 9/06 of the Ontario Heritage Act the following reasons are why the subject property is not worthy of heritage designation and does not meet such criteria stated in Regulation 9/06.

1. *Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

The property itself has been listed on the heritage register under the Mississauga Road Scenic Route Cultural Landscape; however the existing dwelling has not been designated. The existing house does not meet criteria set out in Regulation 9/06, Ontario Heritage Act.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated why it does not.*

The existing home is not known to represent significance related to theme, event, belief, person, activity, or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is also not known to represent the work of any architect, artist, builder, designer or theorist in the community. The property has only modest contextual value as far as its support to the character of the area. It's physical, functional, visual, and historic link to the surroundings does not make it a landmark.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The property has been listed on the register and does warrant conservation as per the Mississauga Road Scenic Route Cultural landscape. The proposed removal does not contravene the cultural landscape to which this property belongs. As stated above the existing dwelling does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.

## Section 7 | Bibliography

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Dieterman, Frank A. Mississauga The first 10,000 Years. The Mississauga Heritage Foundation Inc., 2002

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