

PLANNING JUSTIFICATION REPORT

**Proposed Zoning By-law Amendment for a 10 Lot
Back-to-Back Residential Townhouse Development for
86 Thomas Street.**

PREPARED BY

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Revised Report**

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1.0 INTRODUCTION

1.1 BACKGROUND

InfoPlan on behalf of Forgione Investments Inc. is pleased to re-submit a revised Planning Justification Report in support of an application submitted to the City of Mississauga for a Zoning By-law Amendment to permit a 10 unit Back-to-Back Residential Townhouse development on lands located at 86 Thomas St in the City of Mississauga (Subject Lands). The purpose of the following land use assessment is to provide a planning justification for the proposed development and to address staff comments from the 1st Submission dated November 2020.

1.2 GOALS OF THE DEVELOPMENT

This document has been prepared in support of the strategy and rationale to achieve the following core project objectives proposed by Forgione Investments:

- To establish a lotting pattern that is sensitive to, and compatible with, the existing development context and with the new approved development on the east and north sides;
- To align the design layout with the applicable planning policy framework and related planning initiatives; and
- To help promote a compact, efficient development that will support a suitable type of housing choice in the local community.

1.3 DESCRIPTION OF THE SUBJECT LANDS

The Subject Lands, owned by Forgione Investments are approximately 0.405 ha (0.85 ac) in area, with approximately 39 m of frontage along the north side of Thomas and an average depth of 42 m. The property is located in Streetsville (Ward 5). (See Figures 1 and 2). The lands are legally described as Part of Lot 4 Concession 5, West of Hurontario Street, City of Mississauga, Regional Municipality of Peel.

Figure 1: Context Map of the Subject Lands



Figure 2: View of the Subject Lands from Thomas Street



The Subject Lands are rectangular in shape and are currently vacant. The lands generally slope upwards from Thomas St. There are no mature trees or vegetation on the Subject Lands.

Surrounding land uses include (see Figure 1): a new multi-residential development by Dunpar Developments currently under construction east and north of the subject lands; and existing single-family residential land uses west on Callisto Court and on the south side of Thomas Street.

1.4 THE PROPOSAL

Forgione Investments Inc is proposing to develop 10 Back-to-Back residential townhouses units (see Figure 3). The proposed 10 units have an approximate Gross Floor Area of 2,038 sq. m (approx. 22,050 sq. ft.). The initial proposal called for 4-

Conceptual building elevations for the proposed townhouses are provided in Figure 4.a and streetscape concept in Figure 4.b. The streetscape concept demonstrates how the massing and the height of the proposed Back-to-Back Townhouse development is in keeping with the character of the existing single family residences on the west side, as well as the proposed and approved semis by Dunpar on the east side and the Back-to-Back Townhouse block on the north side. The reduction in height shows that it is at the same level or lower than abutting residences. The elevations display a high degree of architectural sensitivity that complements the existing singles in the immediate area as well as the new mixed residential development on the east and north sides. The location of the building also provides prominence to the street. Specific detailing of the proposed building, the site layout, and floor plans have been submitted and will also be included as part of the Site Plan Control application.

Figure 4.a: Elevation Plan



Figure 4.b: Streetscape Concept

Residential Development
Thomas Street, Mississauga



Concept Streetscape

Wes Surdyka Architect Inc 18-12 May 6 2021



Garbage will be stored on site in bins adjacent to the parking spaces within the building and brought out once a week to a designated location along Thomas St for curbside pickup by the Region.

2.0 PLANNING DOCUMENTS

2.1 PROVINCIAL POLICY STATEMENT

The 2020 Provincial Policy Statement (PPS) which came into effect on May 1 2020, issued under the authority of Section 3 of the Planning Act, “provides policy direction on matters of provincial interest related to land use planning and development” in order to ensure efficient, cost-effective development and the protection of resources.

The PPS under Policy 1.1.1 states that healthy, livable and safe communities are sustained by:

-
- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
 - b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs; and
 - e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs.

The Subject Lands are located in the City of Mississauga, which is identified as a Settlement Area. Policy 1.1.3.1 states that settlement areas shall be the focus of growth and development. Policy 1.1.3.2 states that land use patterns within *Settlement Areas* shall be based on densities and a mix of land uses which as per item 'a' efficiently use land and resources.

2.1.1 Planning Analysis

The proposed Zoning By-law Amendment is consistent with the 2020 Provincial Policy Statement, including the following policies:

- The proposal provides redevelopment opportunity for underutilized lands, making efficient use of land that minimizes land consumption, is cost effective and efficient, and reduces servicing costs (Policies 1.1.1a and 1.1.1e).
- The Subject Lands are located within the City of Mississauga, which is identified as an existing settlement area where growth and development is to be focused (Policy 1.1.3.1); and

- The proposed Zoning By-law Amendment contemplates development standards that would allow for a compact form of development that will efficiently utilize lands within the settlement area boundary, and at an appropriate scale in relation to the existing built form and community (Policy 1.1.3.2a).

2.2 GROWTH PLAN

The 2019 A Place to Grow Plan for the Greater Golden Horseshoe (Growth Plan) provides guidance for policy directions relating to development and growth in the Greater Golden Horseshoe to 2041. The aim of the Growth Plan is to support economic prosperity, protect the environment and help communities achieve a high quality of life. Under the Growth Plan, the Subject Lands are shown as “Built-Up Area – Conceptual”.

Under Section 2.2.1, Managing Growth policies include:

- The vast majority of growth will be directed to settlement areas that: i. have a delineated built boundary; ii. have existing or planned municipal water and wastewater systems; and iii. can support the achievement of complete communities; (Policy 2.2.1.2a)
- Within settlement areas, growth will be focused in: (i) delineated built-up areas; (Policy 2.2.1.2c) and
- Applying the policies of this Plan will support the achievement of complete communities that: a) feature a diverse mix of land uses, including residential and employment uses, and convenient access to local stores, services, and public service facilities; b) improve social equity and overall quality of life, including human health, for people of all ages, abilities, and incomes. (Policy 2.2.1.4)

2.2.1 Planning Analysis

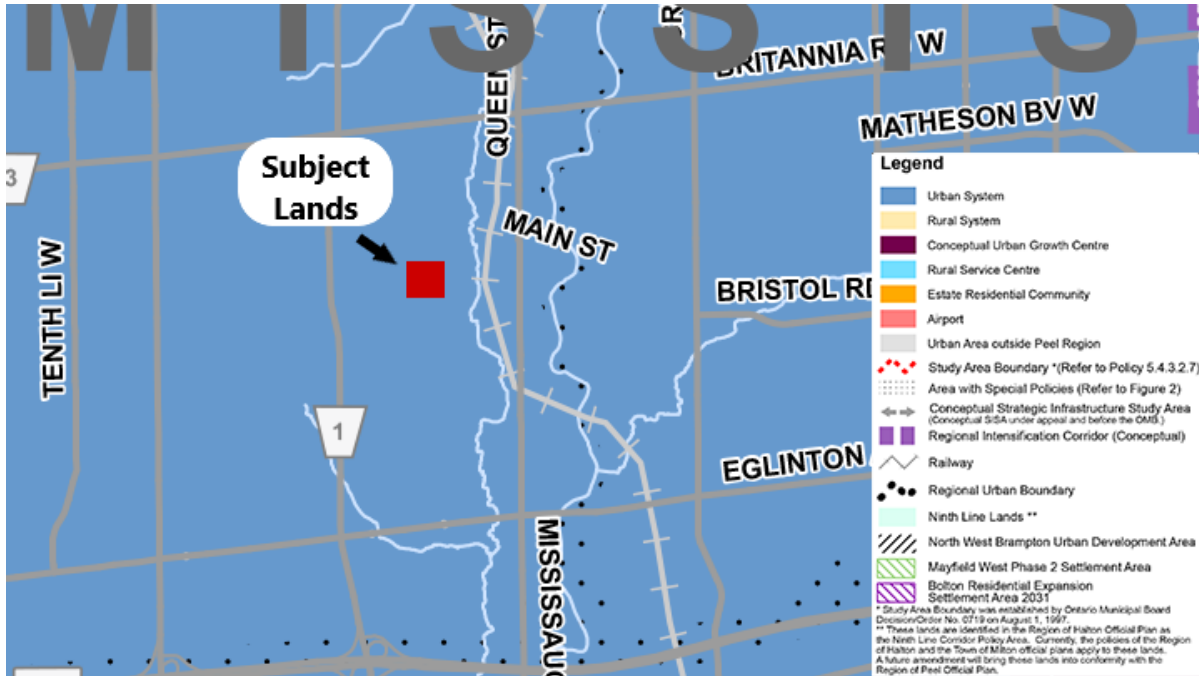
The proposed Zoning By-law Amendment conforms with the 2019 Growth Plan, and the goal to build compact, vibrant, and complete communities under the Where and How to Grow Policies, including:

- The proposed development is within a settlement area that has a delineated built boundary, has existing infrastructure to support development, and is supportive of a mix of land uses to support a complete community (Section 2.2.1.2a);
- The proposed Back-to-Back residential townhouses will complement and contribute further diversity to the existing range of uses in this area and contribute to this area as a complete mixed-use community (Section 2.2.1.4a).
- The proposed use will help promote a positive quality of life for residents (Section 2.2.1.4b).

2.3 PEEL REGION OFFICIAL PLAN

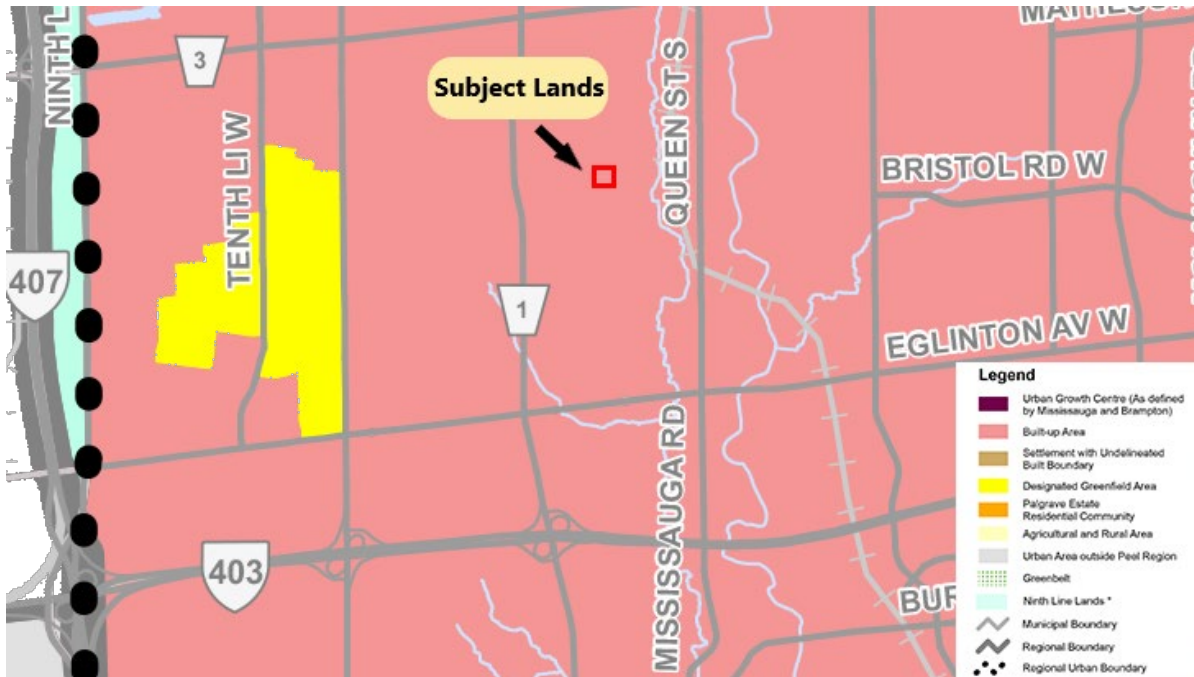
According to “Schedule D Regional Structure” of the Peel Region Official Plan (ROP), the Subject Lands are located within the “Urban System” (see Figure 5). Urban development and redevelopment shall be directed to the Urban System (Section 5.3.2.2).

Figure 5: Peel Region Official Plan Schedule D – Regional Structure



The subject lands are located within the “Built-up Area” as identified on “Schedule D4 -The Growth Plan Policy Areas in Peel” of the ROP (see Figure 6). The ROP policies state that a significant portion of new growth is directed to the built-up areas of the community through intensification (Section 5.5.2.2), where intensification is defined as the development of a property or site at a higher density than currently exists through redevelopment or the development of vacant and/or underutilized lots within previously developed areas, amongst others. Further, it is a policy of the ROP to facilitate and promote intensification (Section 5.5.3.2.2).

Figure 6: Peel Region Official Plan Schedule D4 – Growth Plan Policy Areas



2.3.1 Planning Analysis

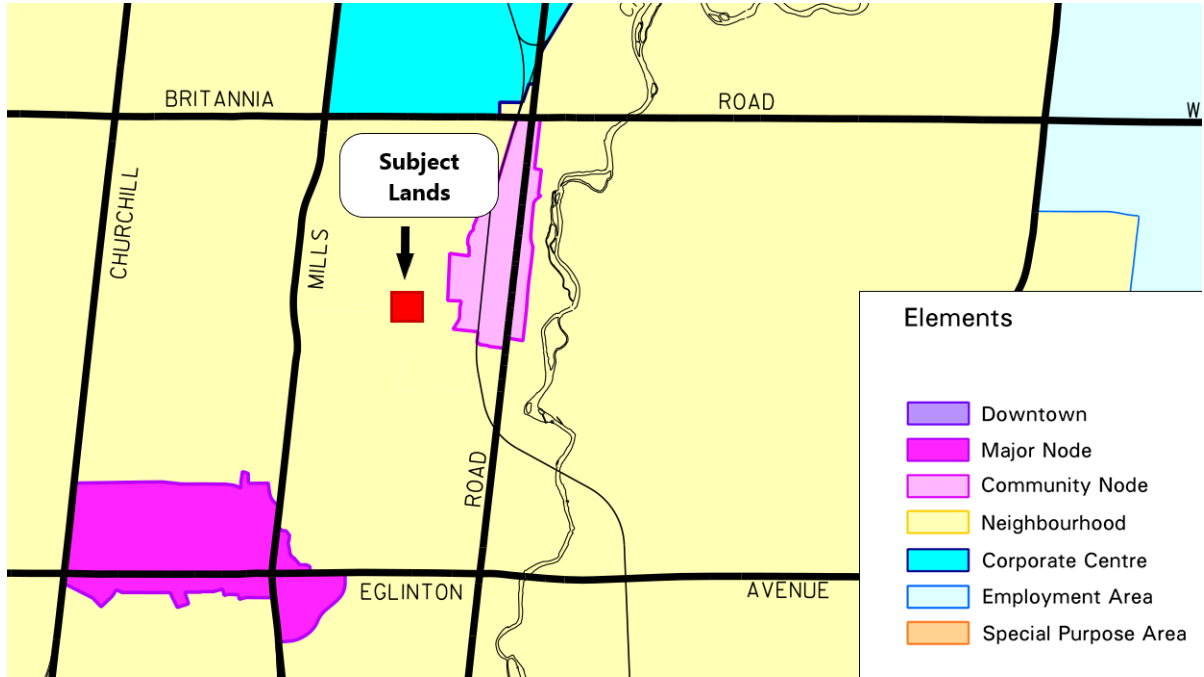
The proposed Zoning By-law Amendment conforms with the ROP for reasons including the following:

- The proposed Zoning By-law Amendment would have the effect of permitting urban type land uses on the Subject Lands, which are located within the urban boundary where a majority of growth is directed (Section 5.3.2.2); and
- The proposed development provides opportunity for the redevelopment of the Subject Lands, which are currently vacant and represents a form of intensification as encouraged by the Official Plan including Section 5.5.2.2- Direct a significant portion of new growth to the built-up areas of the community through intensification and Section 5.5.3.2.2 - Facilitate and promote intensification.

2.4 CITY OF MISSISSAUGA OFFICIAL PLAN

Within the Urban System of the City of Mississauga Official Plan (Schedule 1b), the Subject Lands are within the 'Neighbourhoods' portion of the City Structure. 'Neighbourhoods' are characterized as physically stable areas with a character that is to be protected (Section 5.3.5). Refer to Figure 7.

Figure 7: City of Mississauga Official Plan Schedule 1b – Urban Systems



Relevant Urban System policies are as follows:

- Neighbourhoods will not be the focus for intensification and should be regarded as stable residential areas where the existing character is to be preserved (Section 5.3.5.1).
- Development will be sensitive to the existing and planned context and will include appropriate transitions in use, built form, density, and scale (Section 5.3.5.6).

The urban form policies of the Official Plan in Section 9 provide direction for site layout and building design in addition to other matters relating to development.

Section 9.2.2 of the Official Plan relates to Non-Intensification Areas which includes 'Neighbourhoods'. Through the Pre-Consultation process (i.e. DARC 17-211 W11) sub-section 9.2.2.3 was identified by staff as being important.

While new development need not mirror existing development, new development in Neighbourhoods will:

- a. respect existing lotting patterns;
 - b. respect the continuity of front, rear and side yard setbacks;
 - c. respect the scale and character of the surrounding area;
 - d. minimize overshadowing and overlook on adjacent neighbours;
 - e. incorporate stormwater best management practices;
 - f. preserve mature high quality trees and ensure replacement of the tree canopy;
- and
- g. be designed to respect the existing scale, massing, character, and grades of the surrounding area.

Staff comments from the 1st Submission in November 2020 recommended that Sections 9.5.1 and 9.5.2 of the Official Plan should be reviewed. These relevant sections have been indirectly addressed in various sections of this document and more recently in the Urban Design Brief dated July 15 2021 submitted as part of the 2nd Submission. However, they

have been reviewed in some detail below in the subsequent paragraphs.

Section 9.5 of the Official Plan refers to policies related to Site Development and Buildings.

9.5.1 Context addresses how developments demonstrate compatibility and integration with surrounding land uses and vegetation by ensuring that an effective transition in built form is provided between areas of different development densities and scale, and the protection of natural features. Proposed development should respect railway operations and lines by way of building and site design and implementation of development mitigation measures as required.

- Height and massing have been significantly reduced by 1 storey and over 9 feet in the revised submission ensuring that an effective transition in built form is provided between areas of different development densities and scale, and demonstrates compatibility and integration with surrounding land uses which include the existing single family residences to the west and south side of the site and the proposed semis and townhouses to the east and north side.

9.5.1.1 Buildings and site design will be compatible with site conditions, the surrounding context and surrounding landscape of the existing or planned character of the area.

- Building and site design is compatible with site conditions, the surrounding context and surrounding landscape of the existing and planned character of the area. SBK, the landscape architect confirms that sustainability measures such as permeable pavers and drought tolerant plants are included in the Landscape design.

9.5.1.2 Developments should be compatible and provide appropriate transition to existing and planned development by having regard for the following elements:

- a. Natural Heritage System;
- b. natural hazards (flooding and erosion);
- c. natural and cultural heritage features;
 - Not applicable to this site
- d. street and block patterns;
- e. the size and configuration of properties along a street, including lot frontages and areas;
- f. continuity and enhancement of streetscapes;
- g. the size and distribution of building mass and height;
- h. front, side and rear yards;
 - Style, massing, and height are compatible with existing and proposed development. Refer to the site plan, elevation, and streetscape plans.
- i. the orientation of buildings, structures and landscapes on a property;
 - The siting of the building in relation to existing and proposed development is in keeping with the intent and character of the area. Sustainability measures such as permeable pavers and drought tolerant plants are included.
- j. views, sunlight and wind conditions;
 - A Sun Shadow Study has been provided which demonstrates that shadow impact is expected to be nominal and limited.
- k. the local vernacular and architectural character as represented by the rhythm, textures

and building materials;

- Architectural plans and the Urban Design Brief demonstrate that the local vernacular and architectural character are being maintained.

l. privacy and overlook; and

- Privacy and overlook for the existing residences on the east and south side have been mitigated through the reduction in the overall height and number of storeys.

m. the function and use of buildings, structures and landscapes

- Architectural and landscape plans address the matter of function and use.

9.5.1.3 Site designs and buildings will create a sense of enclosure along the street edge with heights appropriate to the surrounding context.

- The site design and building location create a sense of enclosure along the Thomas street edge and the revised height is appropriate to the surrounding context.

9.5.1.4 Buildings, in conjunction with site design and landscaping, will create appropriate visual and functional relationships between individual buildings, groups of buildings and open spaces.

- Based on plans submitted, the Urban Design Brief and this report, an appropriate visual and functional relationship has been created.

9.5.1.5 Developments will provide a transition in building height and form between Intensification Areas and adjacent Neighbourhoods with lower density and heights.

- Addressed in various sections in this report.

9.5.1.6 Existing vegetation patterns and preservation and/or enhancement of the Urban Forest will be addressed in all new development.

- The site is bare of any vegetation. Sustainability measures such as permeable pavers and drought tolerant plants are included.

9.5.1.7 Developments adjacent to public parkland will complement the open space and minimize negative impacts.

- Not applicable to this site.

9.5.1.8 Proposed development should encourage public open space connections that link public parks and community facilities through the use of walkways, bikeways and bridges.

- Not applicable to this site.

9.5.1.9 Development proposals will demonstrate compatibility and integration with surrounding land uses and the public realm by ensuring that adequate privacy, sunlight and sky views are maintained and that microclimatic conditions are mitigated.

- Addressed in various sections in this report.

9.5.1.10 Where employment and commercial uses are adjacent to noise sensitive uses, noise mitigation should be provided at the source of the noise to ensure compatibility and acceptable noise levels.

- Not applicable to this site.

9.5.1.11 New residential development abutting major roads should be designed with a built form that mitigates traffic noise and ensures the attractiveness of the thoroughfare.

- Submitted Noise Study provides appropriate noise reduction measures.

9.5.1.12 Noise will be mitigated through appropriate built form and site design. Mitigation techniques such as fencing and berms will be discouraged

- Submitted Noise Study provides appropriate noise reduction measures

9.5.1.13 Buildings with exposure to Provincial Highways or public streets in areas of site plan control will be subject to a higher standard of design to achieve upgraded building elevations and landscaping, including principal doors and window fenestration.

- Not applicable to this site.

9.5.1.14 Sites that have exposure to parks or double exposure to both Provincial Highways and public streets will be required to be designed with upgraded building elevations and landscaping facing all parks, public highways and public streets.

- Not applicable to this site.

9.5.1.15 Development in proximity to landmark buildings or sites, to the Natural Areas System or cultural heritage resources, should be designed to:

a. respect the prominence, character, setting and connectivity of these buildings, sites and resources; and

b. ensure an effective transition in built form through appropriate height, massing, character, architectural design, siting, setbacks, parking, amenity and open spaces.

- Not applicable to this site.

Section 9.5.2 of the Official Plan refers to Site Development. The arrangement of elements on a site, as well as their massing and design, should contribute to achieving the City's vision and the intended character for the area. The development of a property may include one or more buildings or structures, services and utilities, parking areas and driveways and landscaping. Site design which incorporates stormwater best management practices will assist in achieving sustainable development objectives.

9.5.2.1 High quality, diverse and innovative design will be promoted in a form that reinforces and enhances the local character, respects its immediate context and creates a quality living or working environment.

- Addressed in various sections in this report, the Urban Design Brief, and in the architectural plans submitted.

9.5.2.2 Developments will be sited and massed to contribute to a safe and comfortable environment for pedestrians by:

a. providing walkways that are connected to the public sidewalk, are well lit, attractive and safe;

- Revised Site plan illustrates how walkways are connected to the public sidewalk, will

be well lit, attractive and safe and will be further described through the Site Plan process.

b. fronting walkways and sidewalks with doors and windows and having visible active uses inside;

- Refer to architectural plans (i.e architectural floor plans for details).

c. avoiding blank walls facing pedestrian areas; and

- Not applicable to this site.

d. providing opportunities for weather protection, including awnings and trees.

- Refer to architectural and landscape plans for details.

9.5.2.3 Development proponents will be required to ensure that pedestrian circulation and connections are accessible, comfortable, safe and integrated into the overall system of trails and walkways.

- Refer to architectural and landscape plans for details.

9.5.2.4 Where direct vehicular access to development is not permitted from major roads, buildings should be designed with front doors of individual units oriented towards the major road with vehicular access provided from a side street, service road or rear laneways.

- A single driveway to/from Thomas St is provided. The proposal is a 10 unit Back-to-Back townouse development. Front doors of individual units are oriented towards the road for one-half of the units.

9.5.2.5 Development proponents may be required to upgrade the public boulevard and contribute to the quality and character of streets and open spaces by providing:

a. street trees and landscaping, and relocating utilities, if required;

b. lighting;

c. weather protection elements;

d. screening of parking areas;

e. bicycle parking;

f. public art; and

g. street furniture.

- If required should be addressed through the site plan process.

9.5.2.6 Development proponents will be required to demonstrate the successful application of universal design principles and compliance with legislated standards.

- Building expected to comply with OBC.

9.5.2.7 Site development should respect and maintain the existing grades on-site.

- Site grading required to accommodate the development of the site.

9.5.2.8 Site designs that conserve energy will be encouraged. Energy conservation will be addressed at the development application stage and during the preparation of building and site designs. Buildings should be designed, oriented, constructed and landscaped to minimize interior heat loss and to capture and retain solar heat energy in the winter and to minimize solar heat penetration in the summer.

-
- Refer to architectural and landscape plans for details.

9.5.2.9 Site designs will be encouraged that minimize the consumption of water.

- Refer to engineering and architectural plans for details.

9.5.2.10 Site development will be encouraged to meet a minimum standard of LEED Silver or custom green development standards.

- Refer to architectural and landscape plans for details.

9.5.2.11 Site development will be required to:

- a. incorporate stormwater best management practices;
- b. provide enhanced streetscape;
- c. provide landscaping that complements the public realm;
- d. include the use of native non-invasive plant material;
- e. protect and enhance habitat;
- f. preserve significant trees on public and private lands;
- g. incorporate techniques to minimize urban heat island effects such as providing planting and appropriate surface treatment; and
- h. provide landscaping that beautifies the site and complements the building form.
 - Refer to engineering, architectural, and landscape plans for details.

9.5.2.12 Heating, venting and air conditioning equipment and mechanical/utility functions will be located away from the public realm and not be visible from public view.

- Refer to architectural plans for details.

9.5.2.13 External lighting for site development should:

- a. be energy efficient;
- b. utilize dark skylight fixtures; and
- c. not infringe on adjacent properties.
 - Refer to architectural plans for details and should be further described through the site plan approval process.

9.5.2.14 Development on a site may be phased provided that the location of buildings and services allow for future development. For projects that will be phased, applications shall be accompanied by a detailed phasing plan.

- Not applicable to this site.

Relevant transportation policies in the Official Plan are as follows:

Off-street parking facilities for vehicles and other modes of travel, such as bicycles, will be provided in conjunction with new development and will:

- a. provide safe and efficient access from the road network so that ingress and egress movements minimize conflicts with road traffic and pedestrian movements;

c. support transportation demand management (TDM) initiatives (Section 8.4.1).

As part of the approval process, a Transportation Impact Study was prepared by NexTrans Engineering that demonstrates, among other things, the following:

- a) building orientation that supports transit service;
- b) minimize distance between main building entrances and transit stations/stops;
- c) development that is integrated into the surrounding pedestrian and cycling network;
- d) parking facilities designed to provide safe and efficient access for pedestrians and cyclists emanating from the surrounding transit and active transportation network; (Section 8.5.7).

Relevant Neighbourhood policies in the Official Plan are as follows:

- For lands within a Neighbourhood, a maximum building height of four storeys will apply unless Character Area policies specify alternative building height requirements or until such time as alternative building heights are determined through the review of Character Area policies (Section 16.1.1.1);
- Chapter 16 of the Official Plan indicates that the Subject lands are located within the Streetsville Neighbourhood (Section 16.23);
- Urban Design Policy in Section 16.23.1.1 Development will be compatible with and enhance the village character of Streetsville as a distinct established community by integrating with the surrounding area, and;
- A stormwater drainage report will be required to ensure that the existing drainage system has the capability to convey the increased storm flow from redevelopment in accordance with current City drainage standards (Section 16.23.4.1).

In addition, Mississauga will require development proposals to address the management of stormwater using stormwater best management practices (Section 6.2.7).

2.4.1 Planning Analysis

The proposed Zoning By-law Amendment conforms with the City of Mississauga Official Plan, for reasons including the following:

- The proposed use for residential townhouses is consistent with residential areas where the existing character is to be preserved (Section 5.3.5.1).
- The proposed use for residential townhouses is sensitive to the existing and planned context and includes appropriate transitions in use, built form, density, and scale between the existing single family homes on Callisto Court and the Dunpar development currently under construction for townhouses and semi-detached lots (Section 5.3.5.6);
- The development of the Subject Lands as per Section 9.2.2.3 of the Official Plan takes into consideration that new development need not mirror existing development, but that new development in Neighbourhoods will:
 - a. respect existing lotting patterns which the proposal has done based on the Dunpar development approved in 2019;
 - b. respect the continuity of front, rear and side yard setbacks which the proposal attempts to accommodate based on the zoning standards for the RM-10 zone and the approved Dunpar development;
 - c. respect the scale and character of the surrounding area which the proposal has done serving as a buffer between the large scale development abutting the subject lands on the north and east side and the existing single family lots on the west side;
 - d. minimize overshadowing and overlook on adjacent neighbours as per the Shadow Study undertaken by Wes Surdyka Architect;
 - e. incorporate stormwater best management practices as per the FSR prepared by NexTrans Consulting Engineers;
 - f. preserve mature high quality trees and ensure replacement of the tree canopy which does not apply in this particular case as there are no trees on the subject lands;and

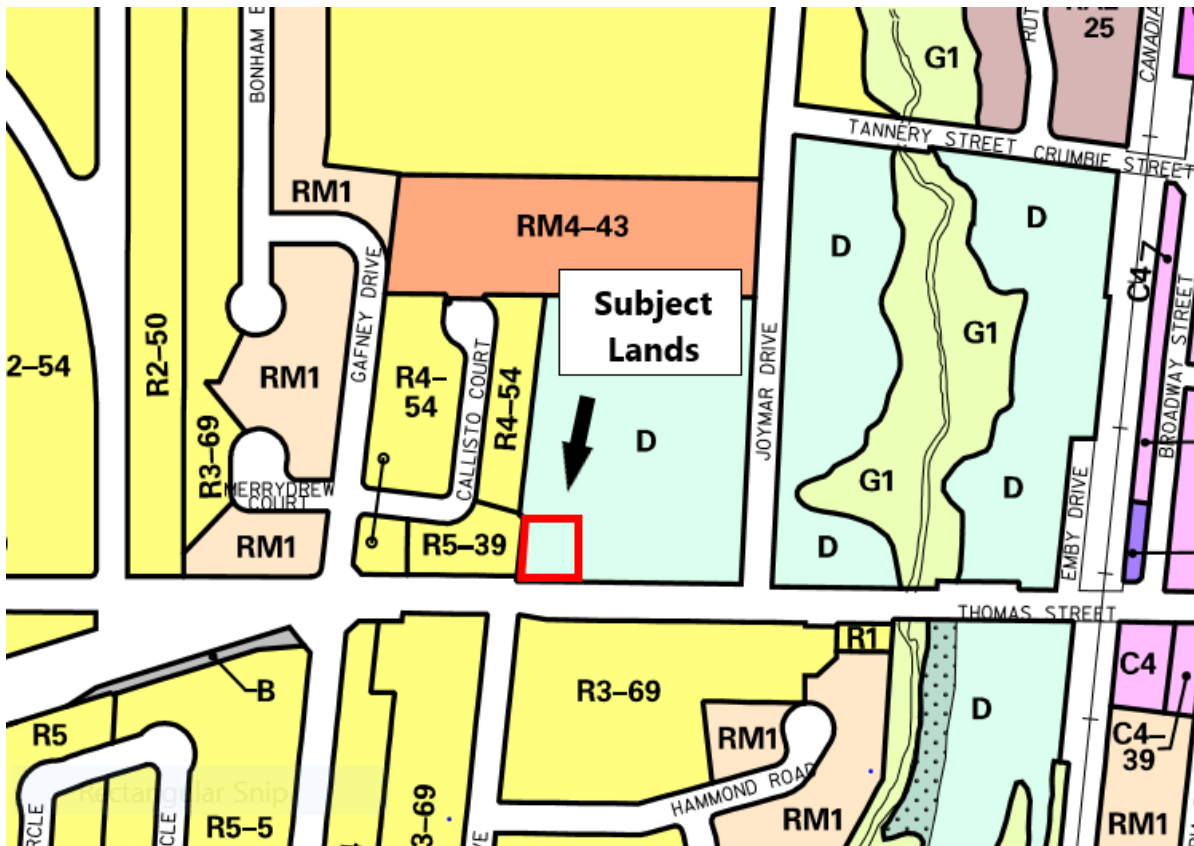
g. be designed to respect the existing scale, massing, character and grades of the surrounding area which the proposed development attempts to achieve by creating an opportunity through this proposal to reduce the height of Dunpar's retaining wall along by the north property line.

- The policies in Sections 9.5.1 and 9.5.2 of the Mississauga Official Plan have been reviewed and for the most part have been satisfied.
- Vehicular access to the Subject Lands is proposed from an existing all turns access to Thomas St. Previous concepts under other ownership showed 4 driveways accessing Thomas St. As noted by the Traffic Impact Assessment (Section 4.1.2 of this Report), the proposed site driveway is expected to operate with acceptable delays and sufficient capacity to accommodate the townhouse development and transportation demand management objectives for transit, cyclist and pedestrian users have been considered (Sections 8.4.1 & 8.5.7);
- The proposed use complies with the maximum building height of four storeys Section 16.1.1.1);
- The proposed development is compatible with the village character of Streetsville as a distinct established community by integrating with the surrounding area (Section 16.23.1.1);
- A stormwater drainage report was prepared that ensures that the existing drainage system has the capability to convey the increased storm flow from redevelopment in accordance with current City drainage standards (Section 16.23.4.1), and;
- The development proposal through the civil engineer plans addresses the management of stormwater using stormwater best management practices (Section 6.2.7).

2.5 CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007, AS AMENDED

The Subject Lands are zoned Development (D) under the City of Mississauga Zoning By-law No. 0225-2007, as amended, as shown on Map 39E (refer to Figure 8).

Figure 8: City of Mississauga Zoning By-Law 0225-2007 – Map 39E



The Development zone permits existing uses and structures (as noted by Table 12.3.2). The erection of new buildings or structures and the enlargement or replacement of existing buildings requires the submission of a Zoning By-law Amendment application.

3.0 PROPOSED ZONING BY-LAW AMENDMENT

The Zoning By-law Amendment is proposed to permit a 10-unit Back-to-Back residential townhouse development on the subject lands and regulate standards for the proposed development.

The Zoning By-law Amendment proposes to rezone the Subject Lands to a site specific (RM-10) zone to facilitate the development of the property, while implementing the policies of the Official Plan and the PPS. The RM-10 zone permits Back-to-Back residential townhouse land uses. The proposed site-specific nature of the re-zoning application is to accommodate several exceptions to the existing standards in the RM-10 zone.

The proposed draft Zoning By-law Amendment is attached as Appendix A. The proposed Zoning By-law is site specific in nature and include several Special Provisions related to the number of storeys, the minimum front, rear, and interior side yard setbacks, the number of parking spaces and width of the proposed road and landscaped buffer. The exceptions to the RM-10 zone are in keeping with the approved Dunpar development abutting the Subject lands on the east and north side, and reflect the unique site constraints of the property while taking into account the existing single family character of the existing properties.

4.0 ADDITIONAL ANALYSIS

4.1 TECHNICAL STUDIES

The proposed development is supported by the following technical reports.

4.1.1 Functional Servicing and Stormwater Management Report

A revised Functional Servicing and Stormwater Management Report dated August 16 2021, was prepared by NexTrans Consulting Engineers for the Subject Lands. For their conclusions they state the following - This Functional Servicing and Stormwater Management Report has outlined the requirements for servicing the proposed development. Reference to Table 5, these preliminary studies and general results indicate that the subject development can be serviced by existing municipal services (storm, sanitary and water) and the existing infrastructure is adequate to support the proposed development

All new connections to existing regional municipal infrastructure within the Thomas St allowance are in accordance with Region of Peel engineering design guidelines.

4.1.2 Storm Sewer Downstream Capacity Analysis

In addition, NexTrans recently completed as part of the 2nd Submission a Storm Sewer Downstream Capacity Analysis. They conclude - Reference to the above storm sewer analysis, the storm flow from the subject site will be reduced by 0.07 l/s due to the stormwater quantity control via an Orifice. The proposed development of the subject site at 86 Thomas St. will have no impact on the existing downstream storm sewer system.

4.1.3 ESA Phase II

A Phase II Environmental Site Assessment was prepared by Fisher Environmental Ltd., on March 4, 2020 and was previously submitted as part of the 1st Submission. For the purpose of this Phase II ESA, the appropriate standards were identified, and the results were found to be in compliance.

Residential/Parkland/Institutional Property Use for soil samples and All Types of Property Use for groundwater samples, medium to fine textured soil) as contained in the MOE Soil, Groundwater and Sediment Standards for Use Under Part XV.1 of the Environmental Protection Act, April 15, 2011, hereinafter referred to as the “MOE Standards”. The results of chemical analysis for all nine (9) soil samples were found to be in compliance with the applicable MOE Standards.

The results of chemical analysis for all nine (9) soil samples were found to be in compliance with the applicable MOE Standards. The results of chemical analysis for all six (6) groundwater samples were found to be in compliance with the applicable MOE standards.

Based on the current subsurface investigation, it is concluded that no evidence of soil and groundwater contamination has occurred at the selected sampling locations. No further investigation is recommended at this time.

4.1.4 ESA Phase I

In addition, and in support of this resubmission, an ESA PH1 was completed by Fisher Environmental on March 5 2021 and a Reliance Letter dated April 20 2021 has also been provided. They also have prepared a response letter dated November 26 2020 addressing staff comments from the 1st Submission. Furthermore, the owner has prepared and signed an ESSQD dated May 4, 2021.

Considering the findings of the current Phase One ESA, it is concluded that a Phase Two ESA is not required for the phase one property. The rationale for this conclusion is presented below. PCAs have been identified for a property located adjacent to the north and east of the Site within the phase one study area, as noted in sections 7.2 and 7.3 of this report. Findings from a previous Phase II ESA (Fisher, 2020) conducted at the Site indicated that all soil and groundwater samples recovered along the north and east Site boundaries were found to be in compliance with applicable the MOE Table 3 Standards for all tested CPCs, including Metals, PHC (F1-F4), BTEX, VOCs and PCBs. Based on the above, these off-site PCAs are not likely to have contributed to an APEC on the Site.

The records review, previous Phase Two ESA, interviews and site reconnaissance conducted as part of the present Phase One ESA have identified no PCAs within phase one study area that may contribute to APECs at the phase one property, and no further investigation is required. It is expected that the phase one property could continue to be used for residential purposes.

4.1.5 Shadow Study

A revised Shadow Report dated May 20 2021 was prepared by Wes Surdyka Architect for the subject lands. It indicates that all criteria described on the “Standards for Shadow Studies” City of Mississauga, June 2014, have been mostly satisfied on this project. The proposed building minimizes the overshadowing and maintains reasonable access to sunlight for the existing adjacent properties on the west and south borders.

4.1.6 Other Studies

Other studies that were submitted as part of the 1st Submission in support of the proposal include the following:

- A Plan of Survey by Donald H. Brown Surveying Ltd prepared November 2017;
- A Stage 1 and 2 Archaeological Assessment prepared by Earthworks Archaeological Services Inc., dated June 14, 2018;
- A Letter of acceptance from the Ministry of Tourism Culture and Sport dated

- June 17, 2019;
- A Landscape Concept, Tree Inventory, and Preservation Plan was prepared by Strybos Barron King (SBK) Landscape Architecture on March 8, 2020 and has been revised for the 2nd Submission dated June 2021;
 - A Letter of Credit Landscape Cost Estimate was prepared by Strybos Barron King (SBK) Landscape Architecture on April 23, 2020;
 - A Noise Feasibility Study was prepared by HGC Engineering on April 17 2020; and revised for the 2nd Submission dated June 30 2021 and,
 - Architectural plans prepared by Wes Surdyka Architect in March and April 2020 including the proposed site plan, elevations, floor plans, and streetscape were revised in July 2021 for the 2nd Submission.

5.0 CONCLUSIONS

Given the findings of this Report and the supporting materials, it is concluded that the Subject Lands are well suited for the proposed Back-to-Back 10-unit townhouse development. The proposed Zoning By-law Amendment is consistent with the Provincial Policy Statement and Growth Plan, and conforms to the Peel Region Official Plan and to the City of Mississauga Official Plan, and represents good land use planning as follows:

- Community infrastructure are permitted within all land use designations within the City of Mississauga;
- The current Development (D) zoning of the Subject Lands does not permit new development as contemplated for the Subject Lands by the Mississauga and Peel Official Plans, and as mandated by the PPS. Rather, it is intended to be a temporary condition until such time as the lands can be appropriately developed, as represented by this development proposal and its Zoning By-law Amendment application;
- The Zoning By-law Amendment will facilitate a development consisting of 10 residential townhouses and associated parking, in an area that is contemplated for and encourages this type of use;
- An attractive high-quality development will be created on a currently underutilized site, which has good access;
- A revised proposal is of a height, scale and massing that is consistent with the City's anticipated development parameters for this area;
- The proposed development is not expected to have any significant impacts on the surrounding land uses, as outlined in the background studies filed in support of the application;
- The Functional Servicing and Stormwater Management Report identifies the various measures to be undertaken to facilitate appropriate sanitary, water, and stormwater management to the proposed development.
- The Traffic Impact Study concludes that the parking supply provided is adequate, no mitigation measures are required to support the additional traffic generated by the development, and that the study intersections and proposed

site driveway is expected to operate with acceptable delays and sufficient capacity; and

- The revised Shadow Study confirms that the proposed building minimizes overshadowing and maintains reasonable access to sunlight for the existing adjacent properties.

A by-law to amend By-law Number 0225-2007, as amended.

WHEREAS pursuant to section 34 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, the council of a local municipality may pass a zoning by-law;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

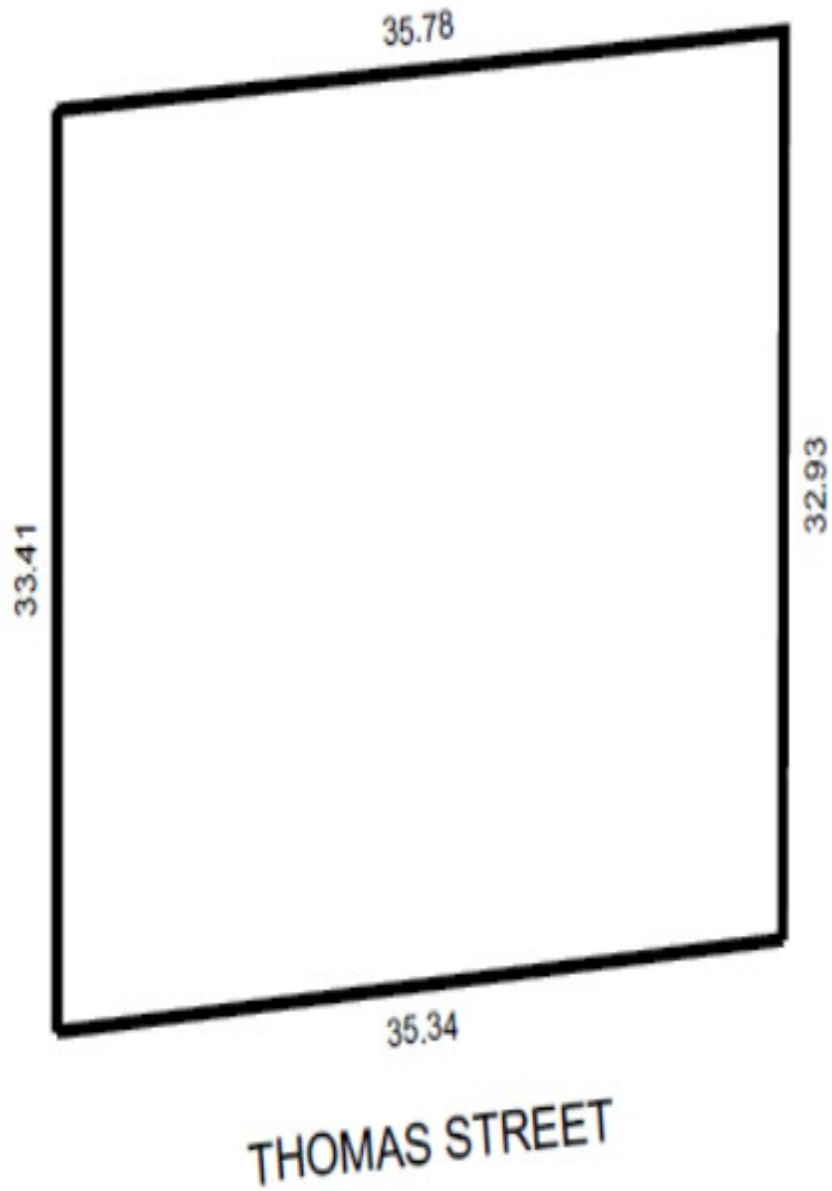
8.2.3.XX	Exception: RM10-XX	Map # XX	By-law:
In an RM10-XX zone the permitted uses and applicable regulations shall be as specified for an E2 zone except that the following regulations shall apply:			
Regulations			
8.2.3.XX.XX	Number of Storeys		3 storeys
8.2.3.XX.XX	Minimum front yard		3.80 m
8.2.3.XX.XX	Minimum interior side yard (east side)		1.23 m
8.2.3.XX.XX	Minimum interior side yard (west side)		8.78 m
8.2.3.XX.XX	Minimum rear yard		3.84 m
8.2.3.XX.XX	Minimum landscaped area		30.59%
8.2.3.XX.XX	Minimum number of Parking Spaces		21
8.2.3.XX.XX	Minimum number of visitor parking spaces		1
8.2.3.XX.XX	Minimum parking space setback to residential		1.63 m
8.2.3.XX.XX	Minimum width of a condominium road		6.0 m

2. Map Number 27 of Schedule "B" to By-law Number 0225-2007, as amended, is amended by changing thereon from "D" to "E2-XX", the zoning of Part of Lot 4, Concession 5, West of Hurontario Street (Geographic Township of Toronto) as shown on Schedule "A" attached hereto and forming part of the bylaw.

ENACTED and PASSED this _____ day of _____ 2020.

MAYOR

CLERK
Page 1 of 3



 BUILDABLE AREA

This is not a Plan of Survey



Note:
All measurements are in metres
and are minimum setbacks,
unless otherwise noted.

THIS IS SCHEDULE " "
AS ATTACHED TO BY-LAW _____
PASSED BY COUNCIL ON _____

APPENDIX "A" TO BY-LAW NUMBER _____

Explanation of the Purpose and Effect of the By-law

The purpose of this bylaw is to enable the development of a 10-unit Back-to-Back Townhouse Development.

This By-law amends the zoning of the property outlined on the attached Schedule "A" from "D" (Development) to "E2-XX" (RM10 - Site Specific).

"E2-XX" permits a 10-unit Back-to-Back Townhouse Development for residential uses. with minimum front and interior side yard setbacks, and landscaped buffer to a public street, number of parking spaces and visitor parking, the minimum parking space setback to residential, the minimum width of a condominium road, the number of storeys, and a minimum rear yard setback.

Location of Lands Affected

Lands located at 86 Thomas St, in the City of Mississauga, as shown on the attached Map designated as Schedule "A".

Further information regarding this By-law may be obtained from _____
of the City Planning and Building Department at 905-615-3200 ext. 5525.