

**SITE STATISTICS**

ZONING REGULATIONS - From Table 4.14.1 - RM9 and RM10 Permitted Uses and Zone Regulations			
ZONE RM-10 (BACK TO BACK AND STACKED TOWNHOUSES)		REQUIRED	PROPOSED
1.	MAXIMUM DWELLING HEIGHT		REXTON DEVELOPMENT
3.	5.1 Measured to the mean height level of a flat roof on top of a sloped roof.	15.0 m. 3 Storeys.	9.86 m. 3 Storeys.
4.	6.0 MINIMUM FRONT YARD	7.50 m.	3.80 m (South)
7.	7.0 MINIMUM EXTERIOR SIDE YARD	4.5 m.	N/A
8.	8.0 MINIMUM INTERIOR SIDE YARD	4.5 m.	8.78 m (West) 1.23 m (East)
11.	12.2 MINIMUM PARKING SPACES		18 spaces
12.	2.0 spaces per 4-4 bedroom unit = 8 parking spaces. 1.5 spaces per 6-2 bedroom unit = 9 spaces.	17 spaces	18 spaces
13.	12.3 MINIMUM VISITOR PARKING SPACES		3 spaces (Includes 1 H/C space)
14.	0.25 spaces per 10 units = 2.5 spaces.	2.5 spaces	3 spaces (Includes 1 H/C space)
15.	13.0 PARKING AREAS SETBACKS		1.63 metres
16.	Minimum setback between a parking space and an interior side lot line and/or rear lot line.	3.0 metres	1.63 metres
17.	15.0 MINIMUM AMENITY AREA AND LANDSCAPE AREA		61.68 % (310.04 m <sup>2</sup> )
18.	15.1 MINIMUM LANDSCAPE AREA	40 % of lot area.	30.59 % (502.68 m <sup>2</sup> )
19.	15.2 MINIMUM REQUIRED LANDSCAPED SOFT AREA	50 % of landscaped area	61.68 % (310.04 m <sup>2</sup> )
20.	15.3 MINIMUM LANDSCAPED BUFFER ABUTTING ANY SIDE AND REAR LOT LINE	3.0 metres	1.23 m East yard. 1.28 m West yard.
21.	15.4 MINIMUM CONTIGUOUS AMENITY AREA	82.17 m <sup>2</sup> (5 % of the lot area)	82.17 m <sup>2</sup> outdoor.
22.	15.7 MINIMUM CONTIGUOUS PRIVATE OUTDOOR SPACE PER UNIT	6.0 m <sup>2</sup>	7.53 m <sup>2</sup>

**LEGAL DESCRIPTION**

PART OF Lot 4  
Concession 5, West of Hurontario Street  
City of Mississauga  
Regional Municipality of Peel

**SITE STATISTICS**

**ZONING:** RM10 (Back to back & stacked townhouse)

**LOT AREA:** 1,643.35 m<sup>2</sup> (17,689 Ft<sup>2</sup>) (0.406 ac)

**BUILDING COVERAGE:**  
PERMITTED: N/A  
PROPOSED: 877.76 m<sup>2</sup> (9,448.13 Ft<sup>2</sup>) 53.41%

**DWELLING UNIT WIDTH:**  
MINIMUM PERMITTED: 4.5 m  
PROPOSED: 5.73 m

**LOT FRONTAGE:**  
REQUIRED (MIN.): 38.0 m  
PROPOSED: 39.04 m

**BUILDING G.F.A.:**

FIRST FLOOR AREA	283.18 m <sup>2</sup> (3,048.12 Ft <sup>2</sup> )
SECOND FLOOR AREA	877.76 m <sup>2</sup> (9,448.13 Ft <sup>2</sup> )
THIRD FLOOR AREA	877.76 m <sup>2</sup> (9,448.13 Ft <sup>2</sup> )
<b>TOTAL GROSS AREA</b>	<b>2,038.70 m<sup>2</sup> (21,944.38 Ft<sup>2</sup>)</b>

**SETBACKS**

	REQUIRED	PROVIDED
Front Yard (South)	4.5 m	3.80 m
Rear Yard (North)	7.5 m	3.84 m
Interior Side Yard (East)	2.5 m	1.23 m
Interior Side Yard (West)	2.5 m	8.78 m

**PARKING SETBACKS:**  
East (to a Residential Zone) 4.5 m 1.63 m

**BUILDING HEIGHT:** MAXIMUM PERMITTED 15.0 m 3 Storeys  
PROVIDED: 9.86 m 3 Storeys

**PARKING:**  
REQUIRED:  
2.0 spaces per 4-4 bedroom unit = 8 parking spaces  
1.5 spaces per 6-2 bedroom unit = 9 spaces.  
0.25 visitor spaces per 10 units = 2.5 spaces  
Total: 20 spaces  
PROVIDED:  
21 spaces  
Includes 3 visitor spaces:  
1-V, 20-V and 21-V (H/C space)

**LANDSCAPE AREA**  
MINIMUM REQUIRED 40 %  
PROPOSED 30.59 % (502.68 m<sup>2</sup>)

**SNOW STORAGE**  
REQUIRED MIN.: 32.87 m<sup>2</sup> (2.00 % of Lot Area)  
PROVIDED: 32.87 m<sup>2</sup> (2.00 % of Lot Area)

**General Note:**

- i. I hereby certify that this drawing confirms in all respects to the site development plans Architect or Engineer's Signature (if applicable) and Professional seal
- ii. The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be certified by the architect or engineer as being in conformity with the site development plan as approved by the City of Mississauga.
- iii. All exterior lighting will be directed onto the site and will not infringe upon the adjacent properties.
- iv. All rooftop mechanical units shall be screened from view by the applicant.
- v. Parking spaces reserved for people with disabilities must be identified by a sign, installed at the applicant's expense, in accordance with the By-law Requirements and Building Code Requirements.
- vi. The applicant will be responsible for ensuring that all plans conform to Transport Canada's restrictions.
- vii. Grades will be met with a 33% maximum slope at the property lines and within the site.
- viii. All damaged areas are to be reinstated with topsoil and sod prior to the release of securities.
- ix. Signage shown on the site development plans is for information purposes only. All signs will be subject to the provisions of Sign by-law 0054-2002, as amended, and a separate sign application will be required through the Building Division.
- x. Any fencing adjacent to municipal lands is to be located 15 cm (6.0 in.) inside the property line.
- xi. Only "shielded" lighting fixtures are permitted for all development, except for detached and semi-detached dwellings within 60 m (196.8 ft.) of a residentially zoned property and must conform to the Engineer Certified Lighting Plan.
- xii. The Engineer Certified Lighting Plan must be signed by the consulting Engineer.
- xiii. The Owner covenants and agrees to construct and install "shielded" lighting fixtures on the subject lands, in conformity with the Site Plan and Engineer Certified Lighting Plan to the satisfaction of the City of Mississauga.
- xiv. The applicant will be responsible for ensuring that all plans conform to Transport Canada's restrictions.
- xv. Where planting is to be located in landscaped areas on top of an underground parking structure, it is the responsibility of the applicant to arrange the coordination of the design of the underground parking structure with the Landscape Architect and the Consulting Engineering. Underground parking structures with landscaping area to be capable of supporting the following loads:
  - 15 cm of drainage gravel plus 40 cm topsoil for sod
  - 15 cm of drainage gravel plus 60 cm topsoil for shrubs
  - 15 cm of drainage gravel plus 90 cm for trees
 Or
  - Prefabricated sheet drain system\* with a compressive strength of 1003 Kpa plus 40 cm topsoil for sod
  - Prefabricated sheet drain system\* with a compressive strength of 1003 Kpa plus 60 cm topsoil for shrubs
  - Prefabricated sheet drain system\* with a compressive strength of 1003 Kpa plus 90 cm topsoil for trees
  - \* Terradrain 900 or approved equal
- xvi. The structural design of any retaining wall over 0.6 m in height or any retaining wall located on a property line is to be shown on the Site Grading plan for this project and is to be approved by the Consulting Engineer for the project.
- xvii. Continuous 15 cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped areas throughout the site.
- xviii. All utility companies will be notified for locates prior to the installation of the hoarding that lies within the site and within the limited of the City boulevard area.

WES SURDYKA architect inc			
3645 KEELE STREET, 2nd FLOOR, STE 108 TORONTO, ONTARIO M3J 1M8 TEL: (416) 630-2254 FAX: (416) 630-5741 E-mail: surdykaarchitect@bellnet.ca			
NAME OF PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT			
LOCATION: 86 THOMAS ST. MISSISSAUGA, ONTARIO			
ITEM	ONTARIO BUILDING CODE DATA MATRIX	OBC REFERENCE	
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	1.1.1 TO 11.4	2.1.1
2	MAJOR OCCUPANCY(S) C	3.1.2.1.(1)	9.10.2
3	BUILDING AREA (m <sup>2</sup> ) EXISTING 0 NEW 877.76 TOTAL 877.76	1.1.3.2	1.1.3.2
4	GROSS AREA (m <sup>2</sup> ) EXISTING 0 NEW 2038.70 TOTAL 2038.70	1.1.3.2	1.1.3.2
5	NUMBER OF STOREYS ABOVE GRADE: 3 BELOW GRADE: 0	3.2.1.1 & 1.1.3.2	2.1.1.3
6	NUMBER OF STREET/ACCESS ROUTES 1	3.2.2.10 & 3.2.5.5	9.10.19
7	BUILDING CLASSIFICATION 3.2.2.44	3.2.2.20-83	9.10.4
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17	9.10.8
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9	N/A
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4	9.10.17.2
11	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7	N/A
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6	N/A
13	PERMITTED CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20-83	9.10.6
14	ACTUAL CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.1.1.(3)-(6)	9.10.4.1
15	OCCUPANT LOAD BASED ON <input type="checkbox"/> m <sup>2</sup> /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.16	9.9.1.3
16	BASEMENT: <input type="checkbox"/> OCCUPANCY <input type="checkbox"/> LOAD <input type="checkbox"/> PERSON		
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2.(1)&3.3.1.19(1)	9.10.1.3
18	REQUIRED HORIZONTAL ASSEMBLIES	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9
	FIRE RESISTANCE RATING (FRR)		
	FLOORS 1 HOURS		
	MEZZANINE N/A HOURS		
	FRR OF SUPPORTING MEMBERS		
	FLOORS 1 HOURS		
	MEZZANINE N/A HOURS		
19	SPATIAL SEPARATION-CONSTRUCTION OF EXTERIOR WALLS	3.2.3.1.0	9.10.14
	WALL AREA OF L.D. L/W PERMITTED PROPOSED FRR		
	EBF (m) OR H/L OPENINGS		
	MAX % OF % OF HOURS DESIGN OR DESCRIPTION		
	COMB. CONST. NONC. CLADDING		
	NORTH 245.43 3.54 2.35:1 9.64 29.49 1		
	SOUTH 252.58 17.03 2.23:1 100.00 28.49 0		
	EAST 342.93 1.23 2.58:1 7.00 20.53 1		
	WEST 342.93 8.78 2.58:1 23.53 19.81 1		

Part 2  
Plan 43R-37889  
Subject to Easement as  
in Inst. No. PR876273  
PIN 13123-0198(LT)

Lot 27  
Registered  
Plan 43M-1679

Part 2, 43R-28302  
PIN 13123-0136(LT)

Block 44  
Plan 43M-1679

Part 2, 43R-936  
PIN 13123-0003(LT)

Part 5, 43R-936  
PIN 13123-0003(LT)  
Dedicated by By-Law 118-75  
(unregistered)

**UNIT SIZES**

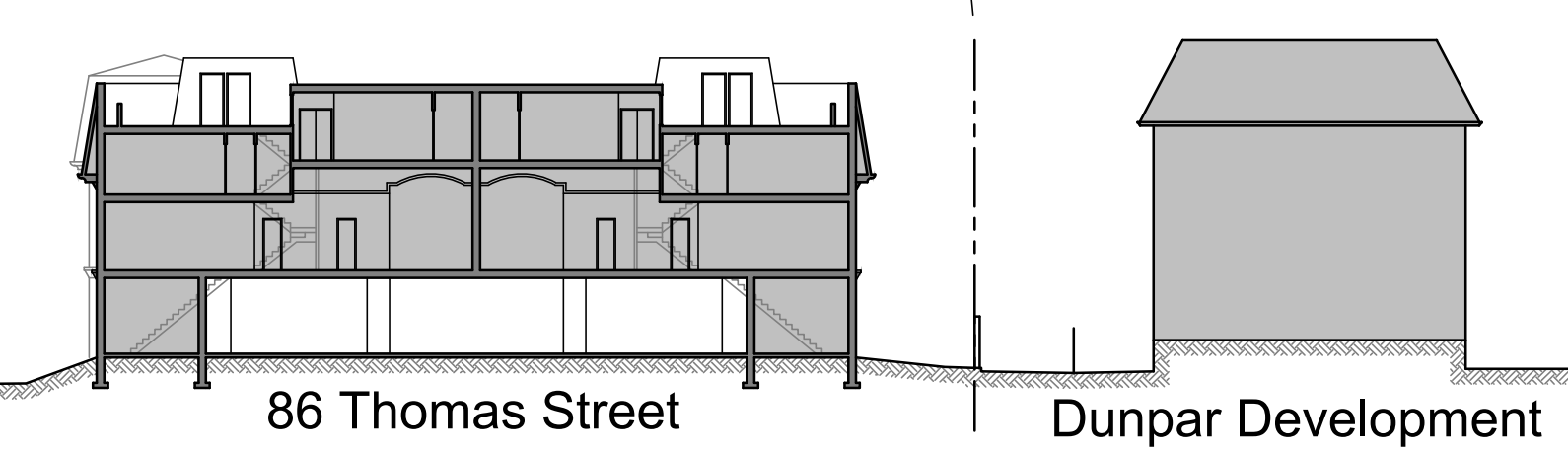
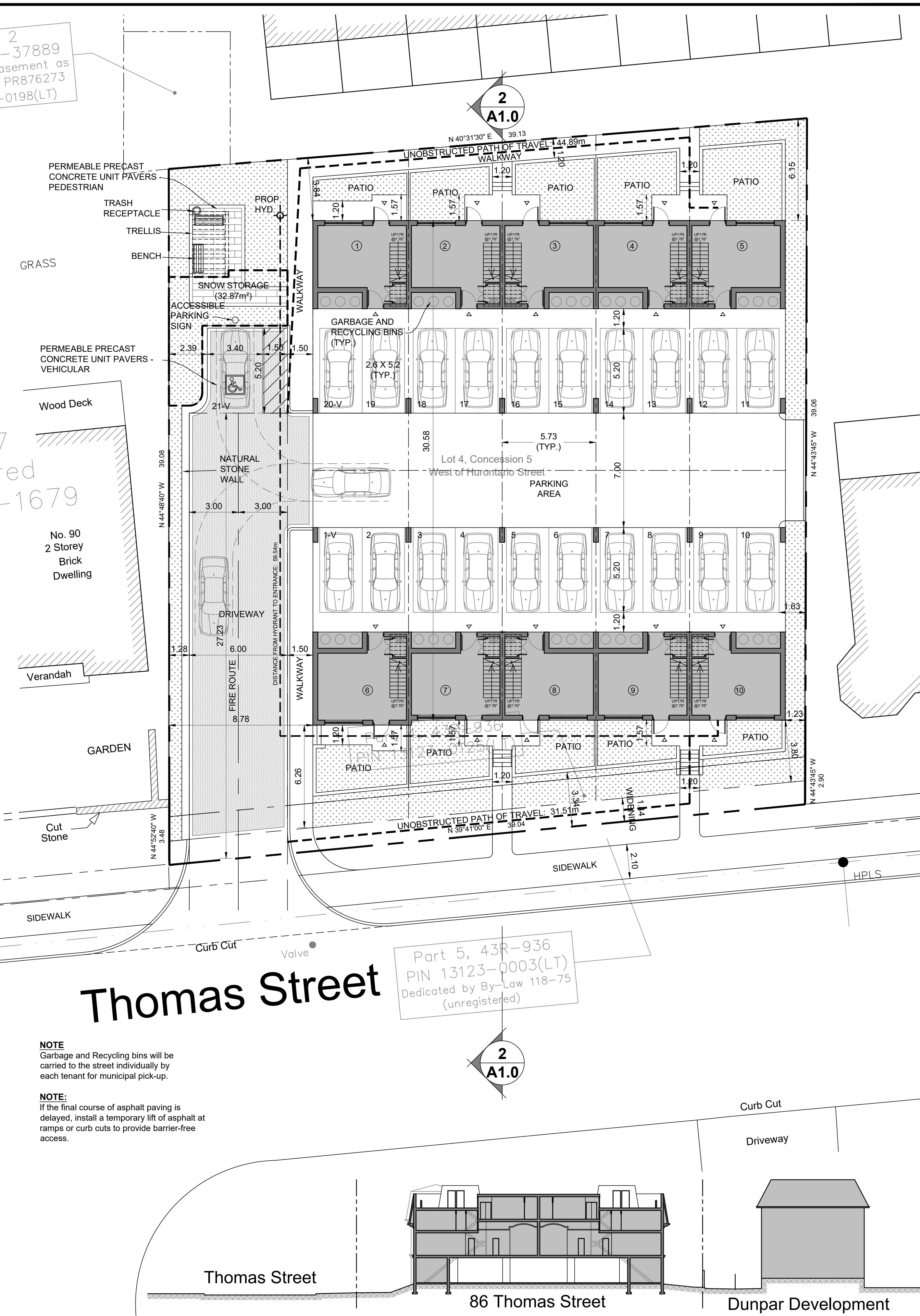
Unit	First Floor	Second Floor	Third Floor	Total
1	29.71m <sup>2</sup>	89.64m <sup>2</sup>	89.64m <sup>2</sup>	208.99m <sup>2</sup>
2	27.97m <sup>2</sup>	87.31m <sup>2</sup>	87.31m <sup>2</sup>	202.59m <sup>2</sup>
3	27.97m <sup>2</sup>	87.31m <sup>2</sup>	87.31m <sup>2</sup>	202.59m <sup>2</sup>
4	27.97m <sup>2</sup>	87.31m <sup>2</sup>	87.31m <sup>2</sup>	202.59m <sup>2</sup>
5	27.97m <sup>2</sup>	87.31m <sup>2</sup>	87.31m <sup>2</sup>	202.59m <sup>2</sup>
6	29.71m <sup>2</sup>	89.64m <sup>2</sup>	89.64m <sup>2</sup>	208.99m <sup>2</sup>
7	27.97m <sup>2</sup>	87.31m <sup>2</sup>	87.31m <sup>2</sup>	202.59m <sup>2</sup>
8	27.97m <sup>2</sup>	87.31m <sup>2</sup>	87.31m <sup>2</sup>	202.59m <sup>2</sup>
9	27.97m <sup>2</sup>	87.31m <sup>2</sup>	87.31m <sup>2</sup>	202.59m <sup>2</sup>
10	27.97m <sup>2</sup>	87.31m <sup>2</sup>	87.31m <sup>2</sup>	202.59m <sup>2</sup>
<b>Total</b>	<b>283.18m<sup>2</sup></b>	<b>877.76m<sup>2</sup></b>	<b>877.76m<sup>2</sup></b>	<b>2,038.70m<sup>2</sup></b>

**NOTE**  
Garbage and Recycling bins will be carried to the street individually by each tenant for municipal pick-up.

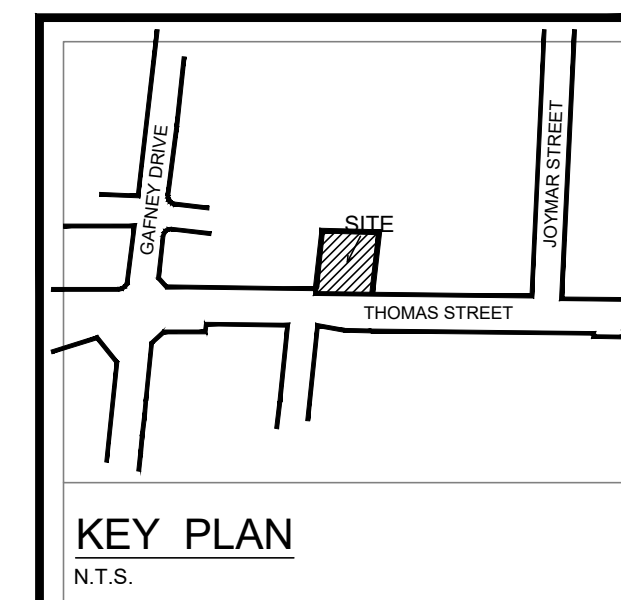
**NOTE:**  
If the final course of asphalt paving is delayed, install a temporary lift of asphalt at ramps or curb cuts to provide barrier-free access.

**1 SITE PLAN**  
SCALE 1:150

**2 SITE SECTION**  
SCALE 1:300



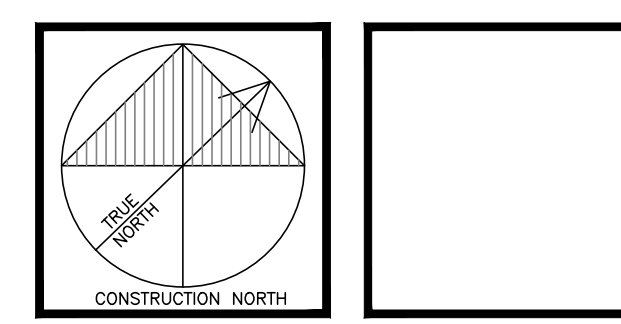
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED BY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED.



SITE PLAN APPLICATION NUMBER: OZ 20 11

NO.	DATE	REVISION/ISSUED FOR
1	MAR 21 2019	PRE-APPLICATION CONSULTATION
2	JUN 03 2020	SITE PLAN APPROVAL
3	JULY 5 2021	SITE PLAN APPROVAL COMMENTS

**PROPOSED RESIDENTIAL DEVELOPMENT**  
**86 THOMAS ST.**  
MISSISSAUGA, ON



**WES SURDYKA**  
architect inc

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**SITE PLAN**

DRAWN BY:	PLOTTED:	JULY 5, 2021
SCALE:	AS SHOWN	
START DATE:	MAR 2019	
PROJECT NO.:	18-12	

**A1.0**