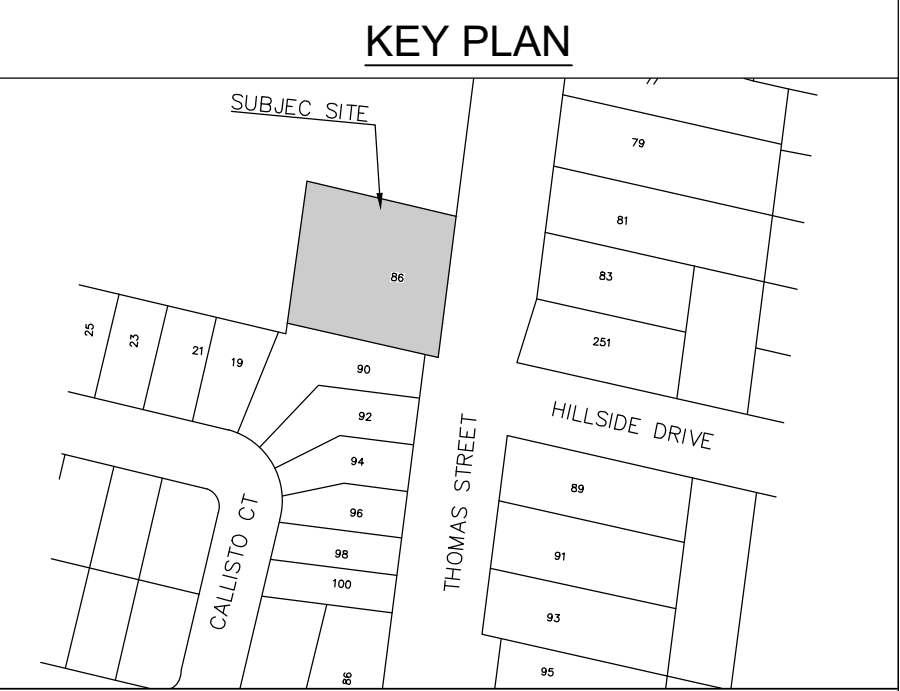
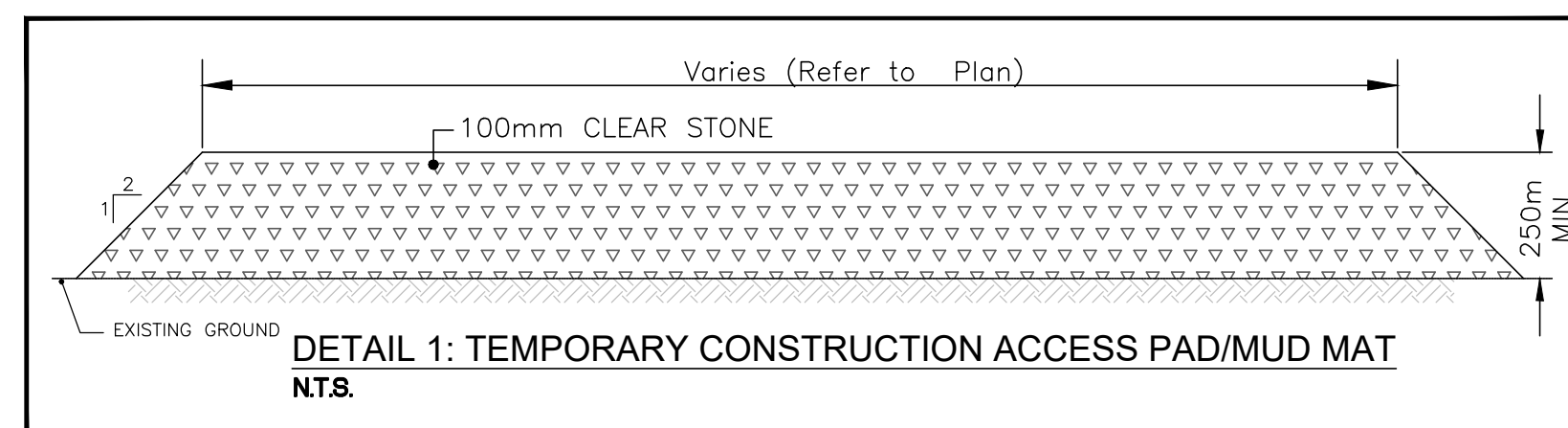
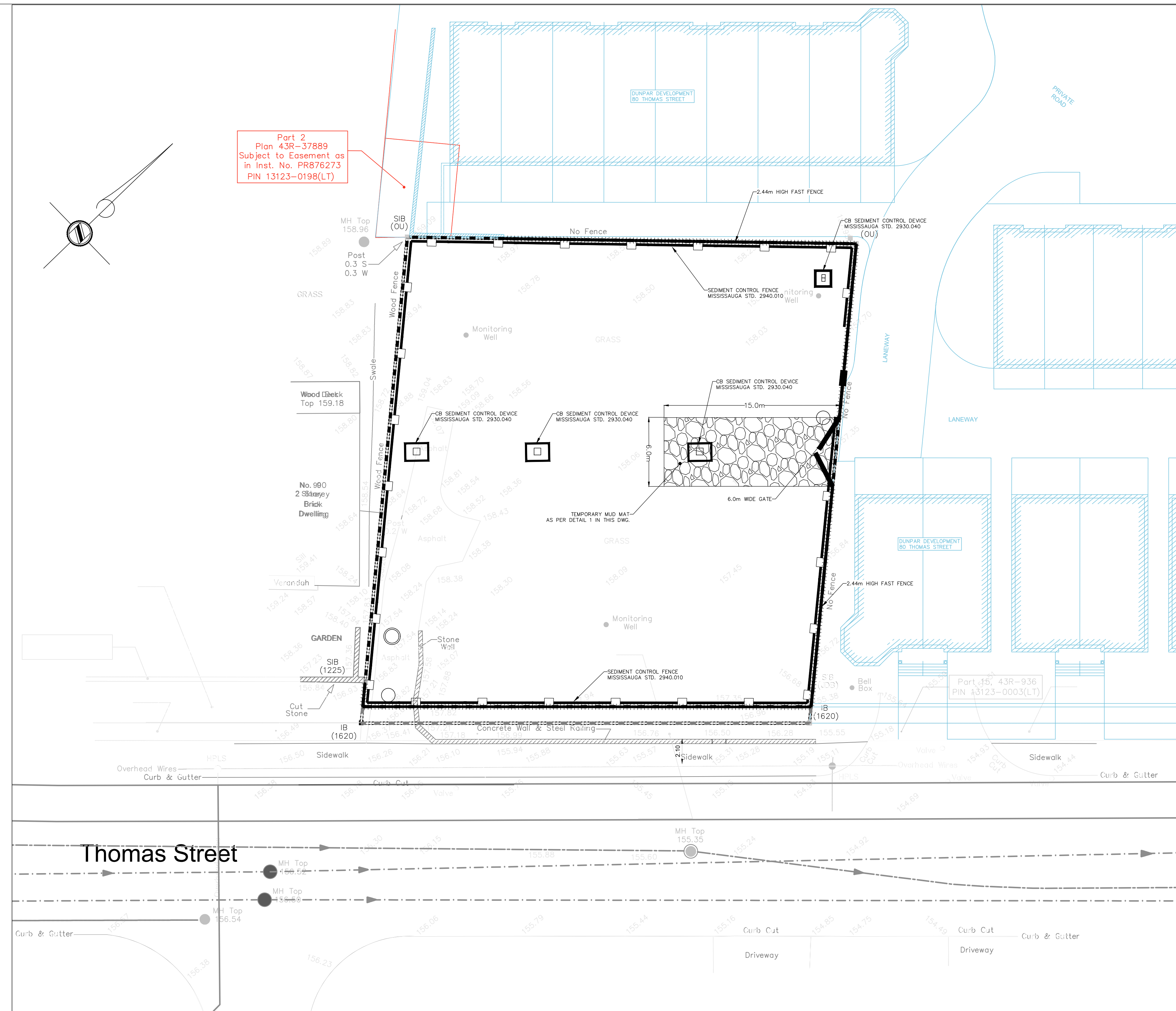
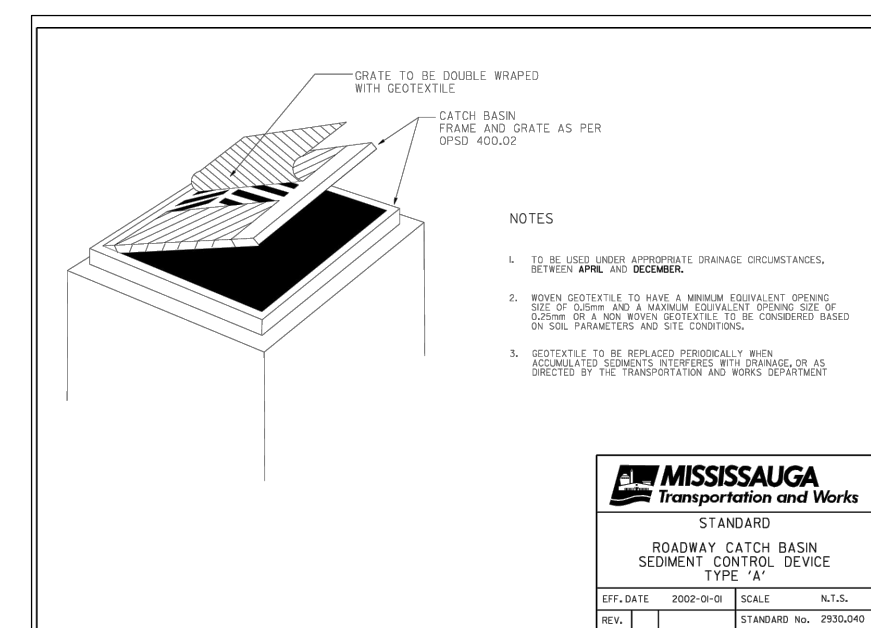
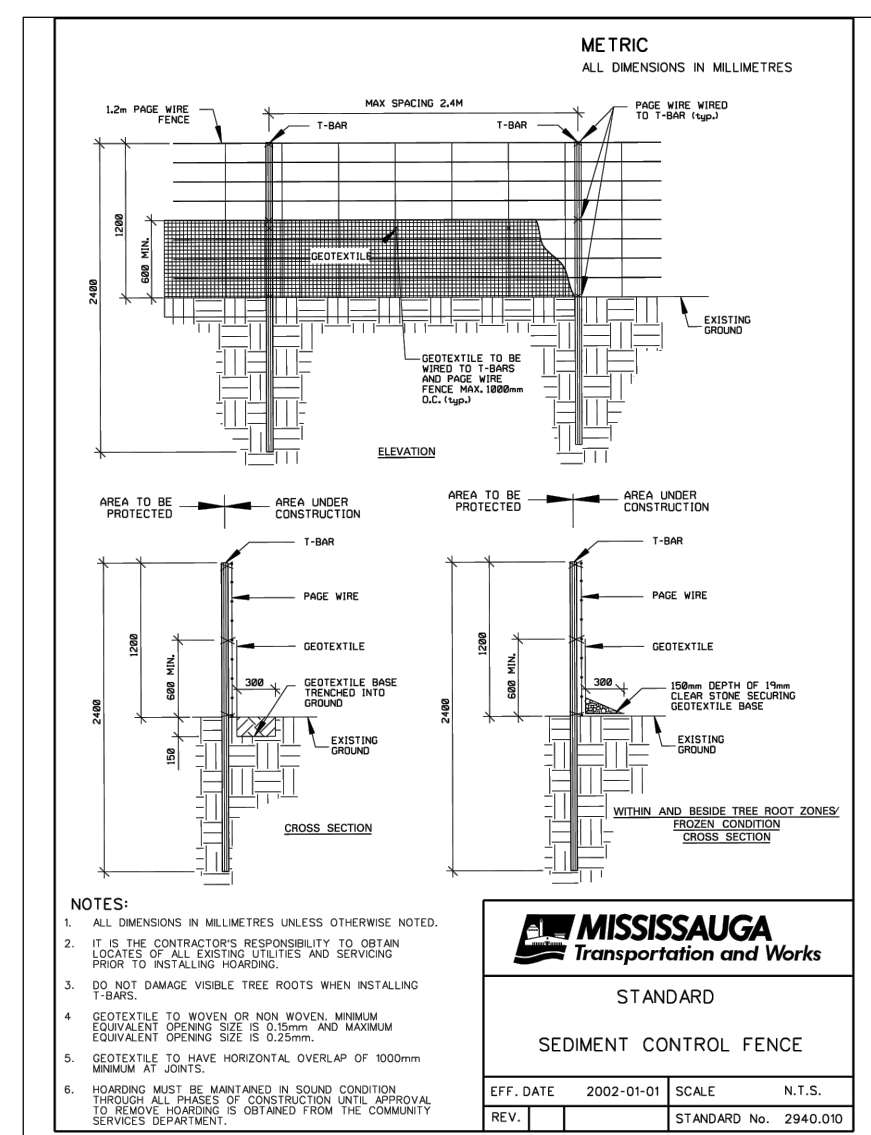


**EROSION AND SEDIMENTATION CONTROL**

- PRIOR TO CONSTRUCTION OR STRIPPING TOPSOIL, THE CONTRACTOR SHALL MAKE PROVISIONS TO PROVIDE 'GOOD HOUSE KEEPING' SITE. THESE MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
1. PROVIDE SILT FENCES AROUND THE PERIMETER OF THE SITE TO REDUCE SILT FROM LEAVING THE SITE.
  2. PROVIDE SILT TRAPS AT CATCH BASINS UPON THEIR INSTALLATION TO REDUCE THE AMOUNT OF SILT ENTERING THE SEWER SYSTEM DURING CONSTRUCTION.
  3. USE OF A 'MUD MAT' OR TEMPORARY TRACKING CONTROL AT THE ENTRANCE OF THE SITE TO MINIMIZE MUD TRACKING FROM THE SITE. (OWNER SHALL CLEAN ADJACENT ROADS ON A REGULAR BASIS).
  4. STABILIZE SITE AS SOON AS POSSIBLE BY RE-ESTABLISHING VEGETATIVE GROUND COVER AND AVOIDING BARE SOIL AREAS. ALL AREAS (INCLUDING STOCKPILES) WHERE SITE IMPROVEMENTS ARE NOT EXPECTED TO OCCUR IMMEDIATELY SHALL BE REVEGETATED WITH 100MM OF TOPSOIL AND HYDROSEEDING IN ACCORDANCE WITH O.P.S.D.
  5. ALL DRAINAGE WORKS REQUIRE EROSION/SEDIMENT CONTROL SATISFACTORY TO THE APPROVAL AGENCIES DURING CONSTRUCTION PERIOD AND MUST BE MONITORED AND MAINTAINED ON A REGULAR BASIS TO ENSURE MAXIMUM BENEFIT AND MINIMUM SILT MIGRATION OFF-SITE.

**ESC PHASING**

- PHASE 1**  
PRIOR TO TOPSOIL STRIPPING AND AREA GRADING, INSTALL SILT FENCE, AND CATCH BASINS PROTECTION.
- PHASE 2**  
COMPLETE GRADING AND RESTORATION TO DISTURBED AREAS. MAINTAIN SEDIMENT TRAPS BY REMOVAL OF ACCUMULATED SEDIMENTS. INSPECT AND REPAIR DAMAGE TO SILT FENCE ON A REGULAR BASIS.
- PHASE 3**  
PRIOR TO FINAL PLACING OF TOPSOIL AND SODDING, REMOVE ALL INSTALLATIONS IN PHASE 1 AND PHASE 2.



DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWING, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED BEFORE STARTING WORK. THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

**LEGEND**

- PROPERTY LINE
- SILT FENCE
- 2.44m HIGH FAST FENCE
- DUNPAR DEVELOPMENT
- EASEMENT

Revision	Date	By	Appr'd
3	SUBMISSION FOR ZBA	FEB. 28 2024	W.L. G.R.
2	SUBMISSION FOR SP APPROVAL	AUG. 16 2021	W.L. G.R.
1	SUBMISSION FOR REVIEW	JULY 02 2020	W.L. G.R.

**BENCHMARK**  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF THOMAS STREET, AS SHOWN ON DEPOSITED PLAN 42R-28302, HAVING A BEARING OF N 30° 41' 00" E.

ELEVATIONS ARE REFERENCED TO CITY OF MISSISSAUGA BENCHMARK No. 1069, PUBLISHED AS HAVING AN ELEVATION OF 157.50 METERS (CANADIAN GEODETIC DATUM, 1928). #1069 SET HORIZONTALLY AT THE BASE OF A 750mm CONCRETE TRAFFIC POLE AT THE NORTH-WEST CORNER OF THOMAS STREET AND GAFNEY DRIVE.

CONSULTANT: G. RAMNATH 180322846  
ACCEPTED: CITY OF MISSISSAUGA

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**MISSISSAUGA nextrans CONSULTING ENGINEERS**  
Suite 201, 520 Industrial Parkway South  
Aurora, ON L4G 6V8  
Tel: 905-903-2563  
Web: www.nextrans.ca

Proposed 10 Units Townhouse  
86 THOMAS STREET

**EROSION & SEDIMENT CONTROL PLAN**

Surveyed by: W.L.	Checked by: G.R.	Project No. NT-19-013
Drawn by: W.L.	Approved by: G.R.	Drawing No. ESC-01
Designed by: W.L.	Date: JUNE 04, 2019	Sheet No. 3 OF 5

Scale: 1:200  
Mississauga ZBA No.: 02 20-11  
Region File No.: C600401