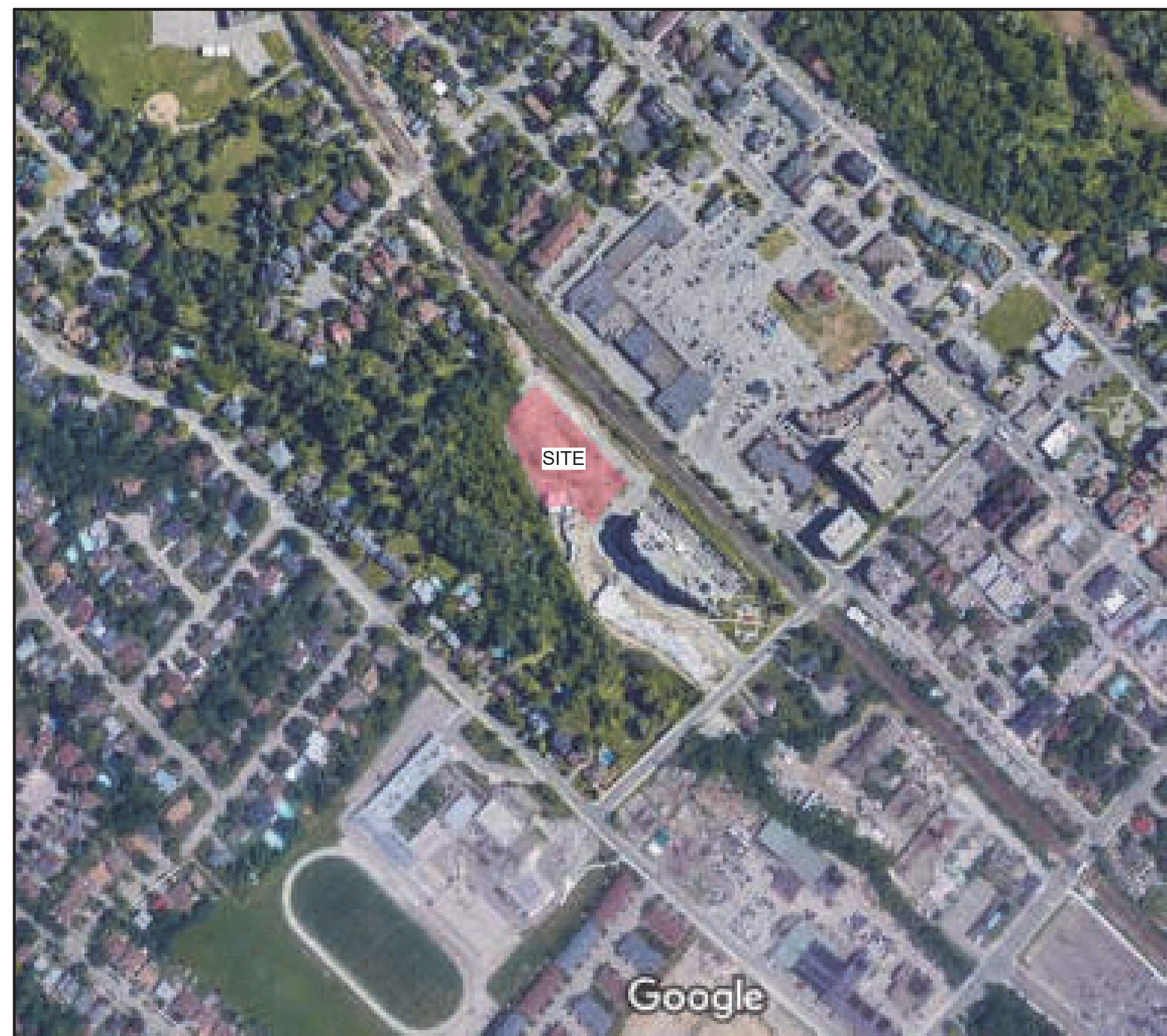


LEGAL INFORMATION TAKEN FROM:

TOPOGRAPHY OF PART OF LOT 4, WEST OF HURONTARIO STREET (MISSISSAUGA) CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY OF PEEL SURVEY PREPARED BY: SURVEYORS ASSOCIATION OF ONTARIO INC. 1137 CENTRE STREET THORNHILL, ON L4M 1M5 DATE: NOV. 2022

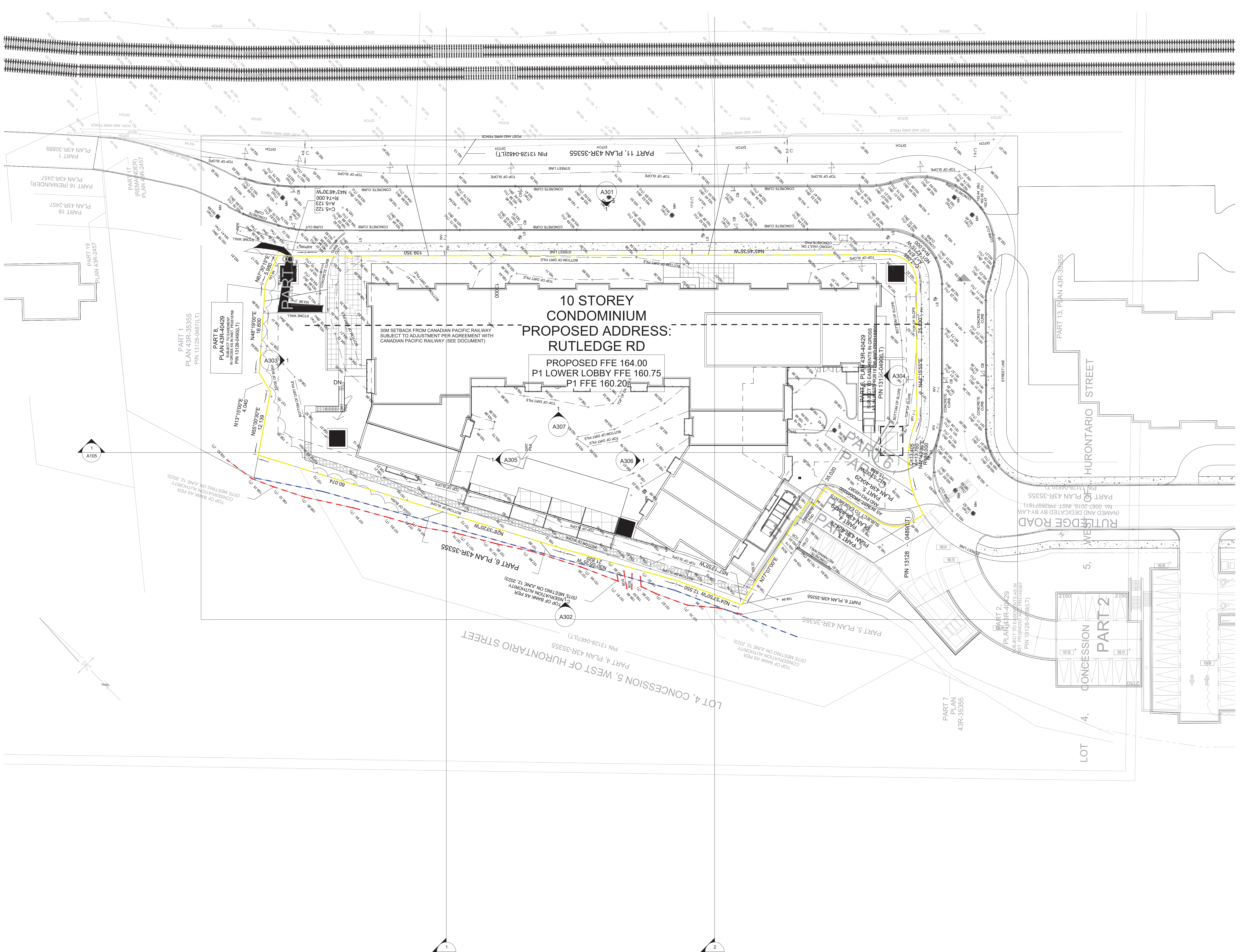
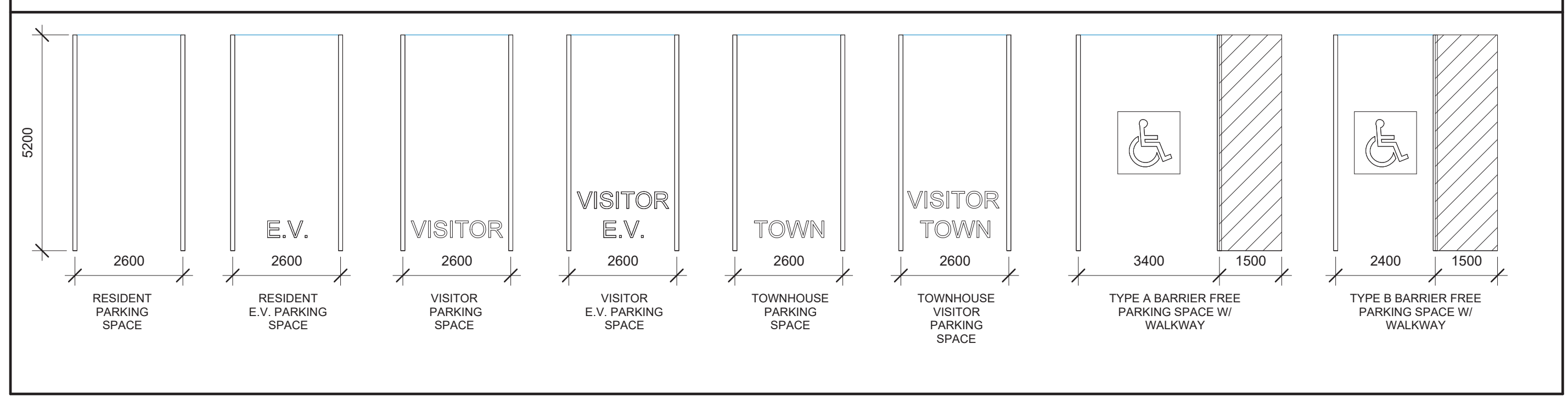
NOTE:
Refer to the Site Grading Plan prepared by Urban Ecosystems, Drawing Title (see index Number), for the purposes of obtaining site grading information.

- I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER SP XXXXXX
- ARCHITECT OR ENGINEER'S SIGNATURE (IF APPLICABLE) AND PROFESSIONAL SEAL
- THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMANCE WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.
- ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.
- ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM VIEW BY THE APPLICANT.
- PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN, INSTALLED AT THE APPLICANT'S EXPENSE, IN ACCORDANCE WITH THE BY-LAW REQUIREMENTS AND BUILDING CODE REQUIREMENTS.
- THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTIONS.
- ALL DAMAGED AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOO PRIORITY TO THE RELEASE OF SECURITIES.
- SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.
- ANY FENCING ADJACENT TO MUNICIPAL LANDS IS TO BE LOCATED 15 CM (6.0 IN) INSIDE THE PROPERTY LINE.
- ONLY SHIELDED LIGHTING FIXTURES ARE PERMITTED FOR ALL DEVELOPMENT, EXCEPT FOR DETACHED AND SEMI-DETACHED DWELLINGS WITHIN 60 M (196.8 FT.) OF A RESIDENTIALLY ZONED PROPERTY AND MUST CONFORM TO THE ENGINEER CERTIFIED LIGHTING PLAN.
- WHERE PLANTING IS TO BE LOCATED IN LANDSCAPED AREAS ON TOP OF AN UNDERGROUND PARKING STRUCTURE, IT IS THE RESPONSIBILITY OF THE APPLICANT TO ARRANGE THE COORDINATION OF THE DESIGN OF THE UNDERGROUND PARKING STRUCTURE WITH THE LANDSCAPE ARCHITECT AND THE CONSULTING ENGINEERING. UNDERGROUND PARKING STRUCTURES WITH LANDSCAPING AREA TO BE CAPABLE OF SUPPORTING THE FOLLOWING LOADS: 15 CM OF DRAINAGE GRAVEL PLUS 40 CM TOPSOIL FOR SOO, 15 CM OF DRAINAGE GRAVEL PLUS 60 CM TOPSOIL FOR SHRUBS, 15 CM OF DRAINAGE GRAVEL PLUS 60 CM FOR TREES OR: PREFABRICATED SHEET DRAIN SYSTEM WITH A COMPRESSIVE STRENGTH OF 1000 KPA PLUS 40 CM TOPSOIL FOR SOO, PREFABRICATED SHEET DRAIN SYSTEM WITH A COMPRESSIVE STRENGTH OF 1000 KPA PLUS 60 CM TOPSOIL FOR SHRUBS, PREFABRICATED SHEET DRAIN SYSTEM WITH A COMPRESSIVE STRENGTH OF 1000 KPA PLUS 90 CM TOPSOIL FOR TREES (TERRADRAIN 900 OR APPROVED EQUAL).
- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6 M IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
- CONTINUOUS 15 CM HIGH BARRIER TYPE POURED CONCRETE CURBING WILL BE PROVIDED BETWEEN ALL ASPHALT AND LANDSCAPED AREAS THROUGHOUT THE SITE.
- TREE PROTECTION NOTE:
a. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING (SECTION 4.8.2) IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS. HOARDINGS MUST BE INSPECTED PRIOR TO THE REMOVAL OF ANY TREE HOARDING FROM THE SITE.
b. OWNER'S SIGNATURE:
c. DATE:
d. ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE.
e. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
f. ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
g. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
h. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.
i. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.
j. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.
k. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
l. IF A WELL IS DISCOVERED IT WILL BE DECOMMISSIONED BY A LICENSED WELL CONTRACTOR OR TECHNICIAN IN ACCORDANCE WITH THE ONTARIO WATER SOURCES ACT, REGULATIONS AND THEIR APPLICABLE REGULATIONS AND GUIDELINES.
m. ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
n. ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS:
a. PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE, OR;
b. FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH S.O. 53, 389(10).
o. ALL INTERNAL CURBS ARE TO BE STANDARD 2 STAGE CURB AND GUTTER AS PER O.P.S.D. 600.070.
p. PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
q. CONFIRMATION MUST BE RECEIVED FROM THE DEVELOPMENT CONSTRUCTION SECTION THAT THEY HAVE MADE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING.
r. FIRE ACCESS ROUTE WILL BE DESIGNED TO SUPPORT LOAD OF NOT LESS THAN 11,363KG PER AXLE AND HAVE A CHANGE IN GRADIENT OR MORE THAN 1 IN 12.5 OVER 15M.
s. FIRE ROUTE WILL BE DESIGNATED AS PER BY-LAW 1036-81.
t. DESIGN OF UPPER SUSPENDED SLAB FOR THE UNDERGROUND PARKING GARAGE PREPARED BY PROJECT STRUCTURAL CONSULTANT (P.E.N.G. OF ONTARIO) IN CONFORMANCE WITH PART 4 OF THE 2012 ONTARIO BUILDING CODE. WASTE COLLECTION VEHICLES WILL NOT TRAVEL ON ACCESS DRIVEWAY ON TOP OF THE SUSPENDED SLAB.
u. PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS FOR THIS DEVELOPMENT, A PROFESSIONAL ENGINEER QUALIFIED TO PROVIDE ACoustical ENGINEERING SERVICES IN ONTARIO SHALL CERTIFY THAT THE NOISE MEASURES FOR THE RESIDENTIAL DWELLINGS HAVE BEEN PROPERLY INSTALLED AND CONSTRUCTED.
v. WITHIN THE VICINITY OF THE DRIVEWAY, ALL ASPHALT AND BASE MATERIALS OF THE EXISTING DRIVEWAY TO BE REMOVED ARE TO BE REINSTATED WITH TOPSOIL AND SOO.
w. NOISE WARNING CLAUSES:
a. PURCHASERS/TENANTS ARE ADVISED THAT DESPITE THE INCLUSION OF NOISE CONTROL FEATURES IN THE DEVELOPMENT AND WITHIN THE BUILDING UNITS, SOUND LEVELS DUE TO INCREASING ROAD AND AIR TRAFFIC MAY OCCASIONALLY INTERFERE WITH SOME ACTIVITIES OF THE DWELLING OCCUPANTS AS THE SOUND LEVELS EXCEED THE MUNICIPALITY'S AND THE MINISTRY OF THE ENVIRONMENT, CONSERVATION AND PARKS NOISE CRITERIA.
b. THIS DWELLING UNIT HAS BEEN SUPPLIED WITH A CENTRAL AIR CONDITIONING SYSTEM WHICH WILL ALLOW WINDOWS AND EXTERIOR DOORS TO REMAIN CLOSED, THEREBY ENSURING THAT THE INDOOR SOUND LEVELS ARE WITHIN THE SOUND LEVEL LIMITS OF THE MUNICIPALITY AND THE MINISTRY OF THE ENVIRONMENT, CONSERVATION AND PARKS.
c. PURCHASERS ARE ADVISED THAT DUE TO THE PROXIMITY OF THE EXISTING COMMERCIAL AND INSTITUTIONAL BUILDINGS, SOUND LEVELS FROM THE FACILITIES MAY AT SOME TIMES BE AUDIBLE.
d. GRADES WILL BE MET WITH A 3% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
e. THE ENGINEER CERTIFIED LIGHTING PLAN MUST BE SIGNED BY THE CONSULTING ENGINEER.
f. THE OWNER COVENANTS AND AGREES TO CONSTRUCT AND INSTALL SHIELDED LIGHTING FIXTURES ON THE SUBJECT LANDS, IN CONFORMANCE WITH THE SITE PLAN AND ENGINEER CERTIFIED LIGHTING PLAN TO THE SATISFACTION OF THE CITY OF MISSISSAUGA. THE ACoustical CONSULTANT SHALL CERTIFY TO THE PLANNING AND BUILDING DEPARTMENT THAT THE AS CONSTRUCTED BUILDINGS, MECHANICAL EQUIPMENT AND VENTILATION SYSTEMS FOR THE BUILDINGS ON THE SITE AND THE OFF-SITE STATIONARY NOISE SOURCES ARE IN COMPLIANCE WITH THE ACoustical REPORT AS PREPARED FOR THE PARTICULAR BUILDING AND IN COMPLIANCE WITH THE MINISTRY OF ENVIRONMENT AND CLIMATE CHANGE (MOECC) GUIDELINE FOR STATIONARY NOISE SOURCES.
g. TRAFFIC NOTES:
a. ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE REINSTATED AT THE OWNER'S EXPENSE.
b. ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO ENSURE THAT ADEQUATE SIGHT DISTANCES ARE AVAILABLE FOR ALL APPROACHING AND EXITING MOTORISTS AND PEDESTRIANS.
c. THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD IS TO BE PAVED BY THE OWNER.
d. DRIVEWAY ACCESSES SHALL MAINTAIN A 1.5M SETBACK FROM ABOVEGROUND FEATURES SUCH AS UTILITIES AND TREES.
e. ANY ABOVE GROUND UTILITIES LOCATED WITHIN 1.5M OF A PROPOSED ACCESS ARE TO BE RELOCATED AT THE OWNER'S EXPENSE.
f. THE COST FOR ANY ALL ROAD IMPROVEMENTS REQUIRED IN SUPPORT OF THIS DEVELOPMENT APPLICATION WILL BE BORNE BY THE OWNER.
g. THE OWNER SHALL MAKE SATISFACTORY ARRANGEMENTS WITH THE TRANSPORTATION AND WORKS DEPARTMENTS FOR THE DESIGN, CONSTRUCTION AND PAYMENT OF ALL COSTS ASSOCIATED WITH WORKS NECESSARY TO SUPPORT ACCESS TO THIS SITE.
h. ANY ACCESS TO INTERNAL SERVICING SHALL BE PROVIDED INTERNALLY THROUGH THE SITE.
i. ONLY SHIELDED EXTERIOR LIGHTING FIXTURES WILL BE USED EXCEPT AS REQUIRED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND/OR THE RECOMMENDATIONS OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) LIGHTING HANDBOOK FOR USES AND/OR ACTIVITIES EXTERIOR LIGHTING IS DARK SKY COMPLIANT.
j. IF THE FINAL COURSE OF ASPHALT PAVING IS DELAYED, INSTALL A TEMPORARY LIFT OF ASPHALT AT RAMPS OR CURB CUTS TO PROVIDE BARRIER-FREE ACCESS.
k. OPEN TRENCHING - NO OPEN TRENCHING IS PERMITTED IN THE MUNICIPAL BOULEVARD WHERE ADJACENT TO CITY TREES.
l. BIRD-FRIENDLY GLAZING PROVIDED ON THE GROUND FLOOR.



KEY PLAN

PARKING LEGEND



1 Site Context
1: 300

PARKING - PRECINCT 2

BASED ON PARKING STUDY BY WSP, MARCH 24, 2022

CONDO UNITS	REQUIRED	PROVIDED
RESIDENT	301 UNITS x 0.9sp = 271	275
VISITOR	301 UNITS x 0.2sp = 60	60
TOWNHOUSES		
RESIDENT VISITOR	4 UNITS x 2.0 sp = 8	8
	4 UNITS x 0.25 sp = 1	1
TOTAL	340	344

CONDO UNITS	REQUIRED	PROVIDED
RESIDENT VISITOR	20% OF TOTAL RESIDENT PARKING SPACES = 54	54
	10% OF TOTAL VISITOR PARKING SPACES = 6	6

CONDO/APARTMENT & TOWNS	REQUIRED	PROVIDED
CLASS A (INDOOR)	0.6UNIT / 300 UNITS x 0.6 = 180	184
CLASS B (OUTDOOR)	0.05UNIT / 300 UNITS x 0.05 = 15	15

TH Areas

Level	Area	Area (SF)
TH1	63 m ²	681 ft ²
P2	63 m ²	681 ft ²
Level 01 - Ground	39 m ²	416 ft ²
P1	165 m ²	1777 ft ²
TH2	61 m ²	657 ft ²
P1	61 m ²	657 ft ²
Level 01 - Ground	30 m ²	325 ft ²
TH3	61 m ²	654 ft ²
P2	61 m ²	654 ft ²
P1	30 m ²	322 ft ²
Level 01 - Ground	151 m ²	1629 ft ²
TH4	62 m ²	666 ft ²
P1	62 m ²	666 ft ²
Level 01 - Ground	30 m ²	323 ft ²
	154 m ²	1660 ft ²

SITE COVERAGE

Name	Area	Percent Coverage
BUILDING COVERAGE	2725 m²	44%
LANDSCAPE AREA	29 m ²	0%
LANDSCAPE AREA	44 m ²	1%
LANDSCAPE AREA	3032 m ²	49%
PAVEMENT COVERAGE	403 m ²	6%
PROPERTY AREA	6032 m²	100%
FSI	3.61	

Parking

Mark	Type	Provided	Required
<varies>	<varies>	29	<varies>
Resident	5200 x 2600	183	217
Resident - 1 Side Obstructed	5200 x 2750	10	
Resident - 2 side Obstruction	5200 x 2900	3	
Resident EV	5200 x 2600	54	54
Townhome	5200 x 2600	8	8
Townhome Visitor	5200 x 2600	1	1
Type A - BF	5200 x 3400	3	
Type B - BF	5200 x 2400	1	
Visitor	5200 x 2600	50	54
Visitor - 1 Side obstructed	5200 x 2750	3	
Visitor EV	5200 x 2600	6	6
Grand total		351	

Amenity Areas

Name	Area	Area (SF)
Indoor	114 m ²	1224 ft ²
Amenity	54 m ²	584 ft ²
Great Room	55 m ²	596 ft ²
Lobby/Lounge	94 m ²	1009 ft ²
Lobby/Lounge	32 m ²	342 ft ²
Rec		
Outdoor	751 m ²	8084 ft ²
Courtyard	41 m ²	444 ft ²
Great Room Terrace	132 m ²	1423 ft ²
Street	1273 m ²	13706 ft ²
Total		13706

GFA

Name	Area	Area (SF)
GFA P1	280 m ²	3010 ft ²
GFA 1st	2526 m ²	27193 ft ²
GFA 2nd	2526 m ²	27193 ft ²
GFA 3rd	2526 m ²	27193 ft ²
GFA 4th	2526 m ²	27193 ft ²
GFA 5th	2526 m ²	27193 ft ²
GFA 6th	2526 m ²	27193 ft ²
GFA 7th	2394 m ²	25765 ft ²
GFA 8th	2274 m ²	24477 ft ²
GFA 9th	1999 m ²	21513 ft ²
GFA 10th	1760 m ²	18941 ft ²
TOTAL	23983 m²	256961 ft²

GFA - APT DWELL ZONE

Level	Area	Area (SF)
Level 01 - Ground	2114 m ²	22755 ft ²
Level 02	2448 m ²	26355 ft ²
Level 03	2448 m ²	26355 ft ²
Level 04	2448 m ²	26355 ft ²
Level 05	2448 m ²	26355 ft ²
Level 06	2448 m ²	26355 ft ²
Level 07	2316 m ²	24928 ft ²
Level 08	2195 m ²	23628 ft ²
Level 09	1902 m ²	20470 ft ²
Level 10	1666 m ²	17933 ft ²
TOTAL	23436 m²	251494 ft²

SUITE AREA RANGE

Unit Type	Count	Area
1B	56	41 m ² ... 61 m ²
1B+D	44	53 m ² ... 81 m ²
2B	73	53 m ² ... 102 m ²
2B+D	40	80 m ² ... 114 m ²
2BI	88	54 m ² ... 70 m ²
Grand total: 301		

Suite Types

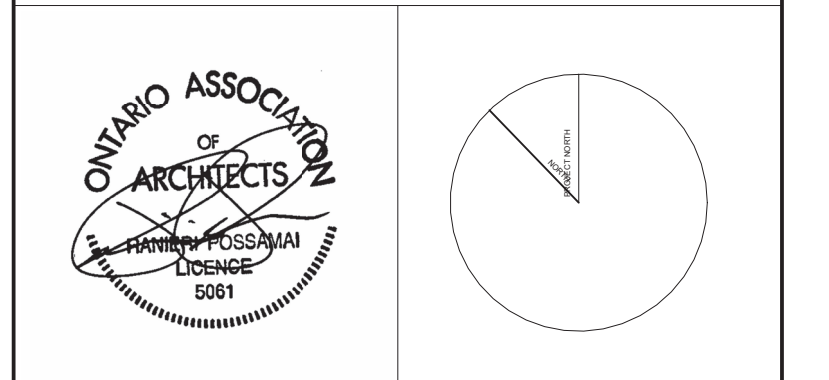
Unit Type	Count	Unit Type	Count
P1		TOWNHOUSE	4
Level 01 - Ground	4	Level 06	33
1B	6	1B-D	5
1B+D	3	2B	4
2B	7	2B-D	9
2B-D	4	2BI	9
2BI	9	Level 07	33
Level 02	4	1B	4
1B	6	1B+D	4
1B+D	5	2B-D	5
2B	9	2BI	9
2B-D	4	Level 08	31
2BI	9	1B	5
Level 03	33	1B+D	5
1B	6	2B	4
1B+D	5	2B+D	6
2B	9	2BI	9
2B-D	4	Level 09	4
2BI	9	1B	4
Level 04	33	1B+D	4
1B	6	2B	7
1B+D	5	2B+D	2
2B	9	2BI	9
2B-D	4	Level 10	26
2BI	9	1B	3
Level 05	33	1B+D	3
1B	6	2B-D	3
1B+D	5	2BI	9
2B	9	Grand total	305
2B-D	4		
2BI	9		

LEGEND

- PRIMARY BUILDING ENTRANCE
- SECONDARY BUILDING ENTRANCE
- CENTERLINE
- Room name
- 101 ROOM NAME, NUMBER, AREA
- 150 m² PROPOSED ELEVATION (M)
- WALL TAG
- WINDOW TAG
- 101 DOOR TAG
- ELEVATION TAG
- ACCESSIBLE PARKING
- FIRE HYDRANT
- CATCH BASIN
- LIGHT BOLLARD
- LIGHT POST
- WALL LIGHT
- BIKE RACK
- INTAKE/EXHAUST VENT
- EASEMENT
- EXTENT OF UNDERGROUND
- SEVERANCE LINE
- PROPERTY LINE
- TOP OF BANK
- LONG TERM STABLE SLOPE

NO.	DATE	ISSUED FOR REZONING	DESCRIPTION
1	2023/01/27		

REVISIONS
Contractor must check and verify all dimensions and be responsible for same; reporting any discrepancies to the Architect before commencing work.
All drawings, prints and specifications are the property of the Architect and must be returned to him on completion of work. Latest drawings only to be used for construction.
Prints are not to be scaled.



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PROJECT NAME Vic 2
150 RUTLEDGE RD.
Mississauga (Streetside) ONT.

DRAWN BY CM, DO
CHECKED BY RP, PP
DATE 06/29/21
SCALE As indicated
DWG. TITLE SITE PLAN

PROJECT NO. 22-03
A101