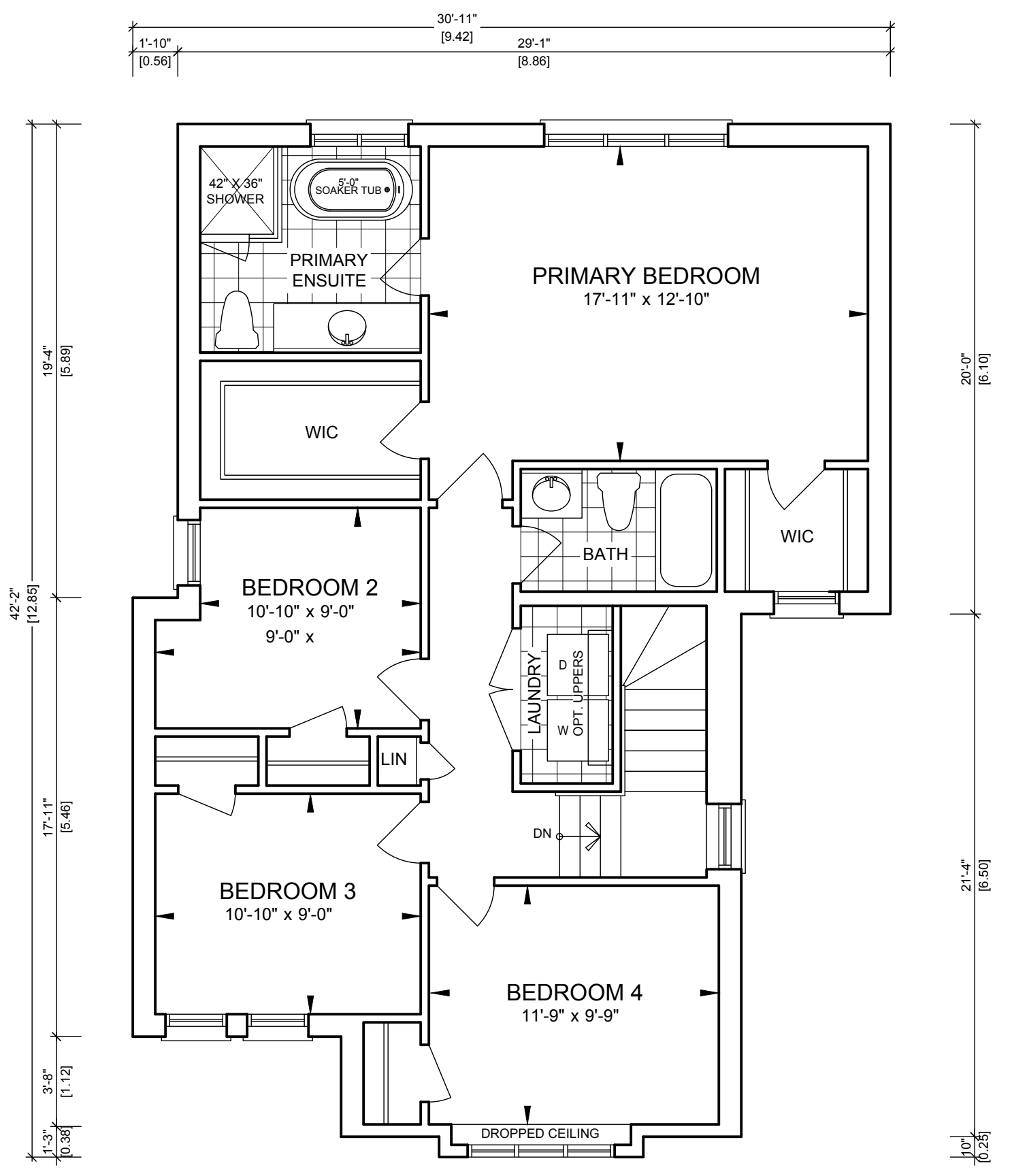


GROUND FLOOR PLAN
ELEVATION 'A' & 'A1'

	A	B	C
	ft ²	ft ²	ft ²
9'-0" Ground / 8'-0" Second			
GROUND FLOOR AREA	881	0	0
-Open Area (not included)	0	0	0
SECOND FLOOR AREA	1085	0	0
-Open Area (not included)	0	0	0
FINISHED BASEMENT FLOOR AREA	0	0	0
TOTAL FLOOR AREA	1966	0	0
-Optional Ground Floor Add	0	0	0
-Optional Second Floor Add	0	0	0
-Optional Finished Basement Add	0	0	0
COVERAGE *w/o Porch &/or Deck	1175	0	0
-Porch (not included) **	63	0	0
-Deck (not included) **	48	0	0
TOTAL COVERAGE	1286	0	0

* MAX. 40% Coverage (Typical 12.2m x 32.0m Lot) = 175.8 sm (1,899 sf)
 ** 40m (130 ft) MAX. Porch & Deck Coverage over Max. Building Coverage



GROUND FLOOR PLAN
ELEVATION 'A' & 'A1'

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, AND ALL OTHER ENGINEERING INFORMATION AND INTERIOR DESIGN AND LANDSCAPE CONSTRUCTION MUST CONFORM TO ALL APPLICABLE LAWS, CODES AND REQUIREMENTS. ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING AND SPECIFICATIONS IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

No.	DESCRIPTION	DATE	BY
1	ISSUED FOR SPA	2023-09-20	SA

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Client: **BALLYMORE HOMES**

Project Name: **376, 390 DERRY ROAD WEST
3 STOREY TRADITIONAL, BACK TO BACK, AND
REAR LANE TOWNHOUSE DEVELOPMENT
CITY OF MISSISSAUGA**

Sheet Title: **DETACHED HOUSE
FLOOR PLANS**

Drawn by: **ASP** | Checked by: **SA** | Date: **SEPT. 2023**

Scale: **3/16"=1'-0"** | Drawing No. **A602**

Project No. **2021-49**